

FOR PRICING PURPOSES ONLY

BUILDING DEPARTMENT  
Inc. Village of Quogue  
7 Village Lane  
PO Box 926  
Quogue, New York 11959  
P: 631.653.4498 x12

REV.	DATE	ISSUE OR REVISION
	24.05.14	Existing Condition Plans
	24.06.20	Schematic Design
	24.08.01	For Pricing

SEAL

ARCHITECT  
**JOSEPH PAGAC**  
**ARCHITECT P.C.** JPA  
16 Library Avenue, Suite D  
Westhampton Beach, New York 11978  
P: 631.557.0070

PROJECT  
Renovations To Quogue Fire Dept. 2nd Floor  
**117 Jessup Avenue**  
Quogue, NY 11959

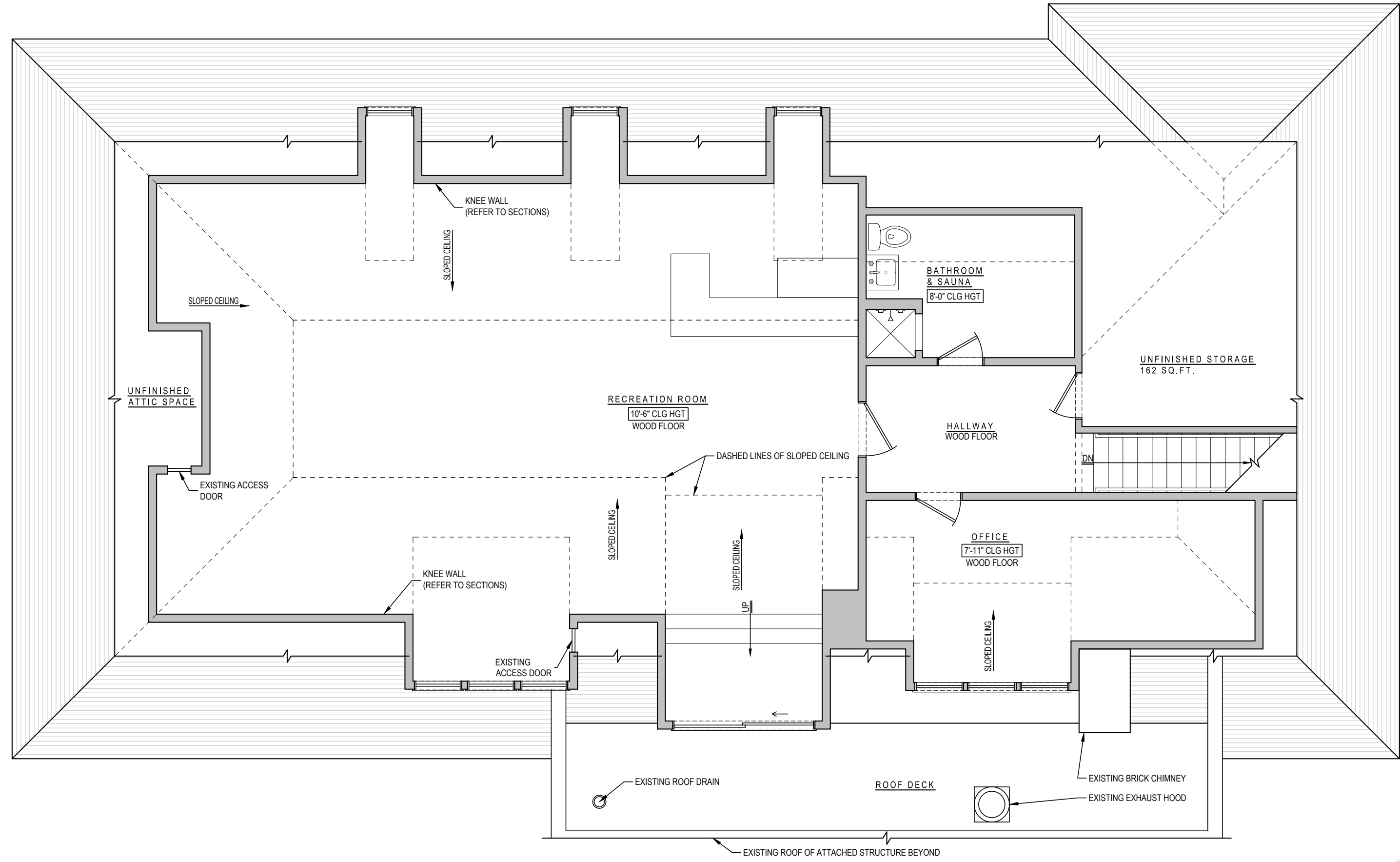
PROJECT NO.: 2403  
DATE: 4/19/24  
DRAWN BY: CD CHECKED BY: JP  
DRAWING TITLE

**EXISTING, DEMO &  
PROPOSED FLOOR  
PLANS**

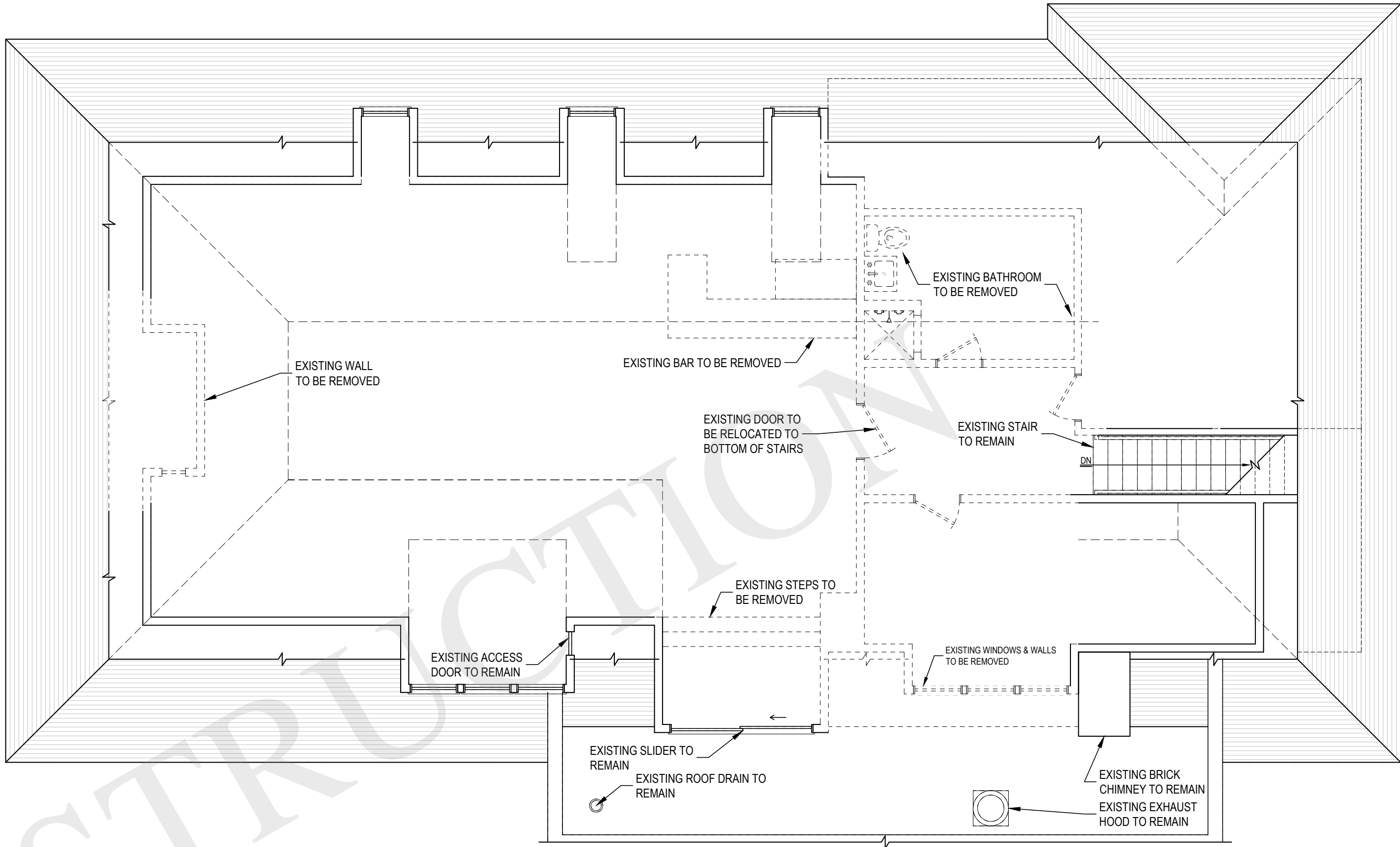
SCALE: AS NOTED

**A-100**

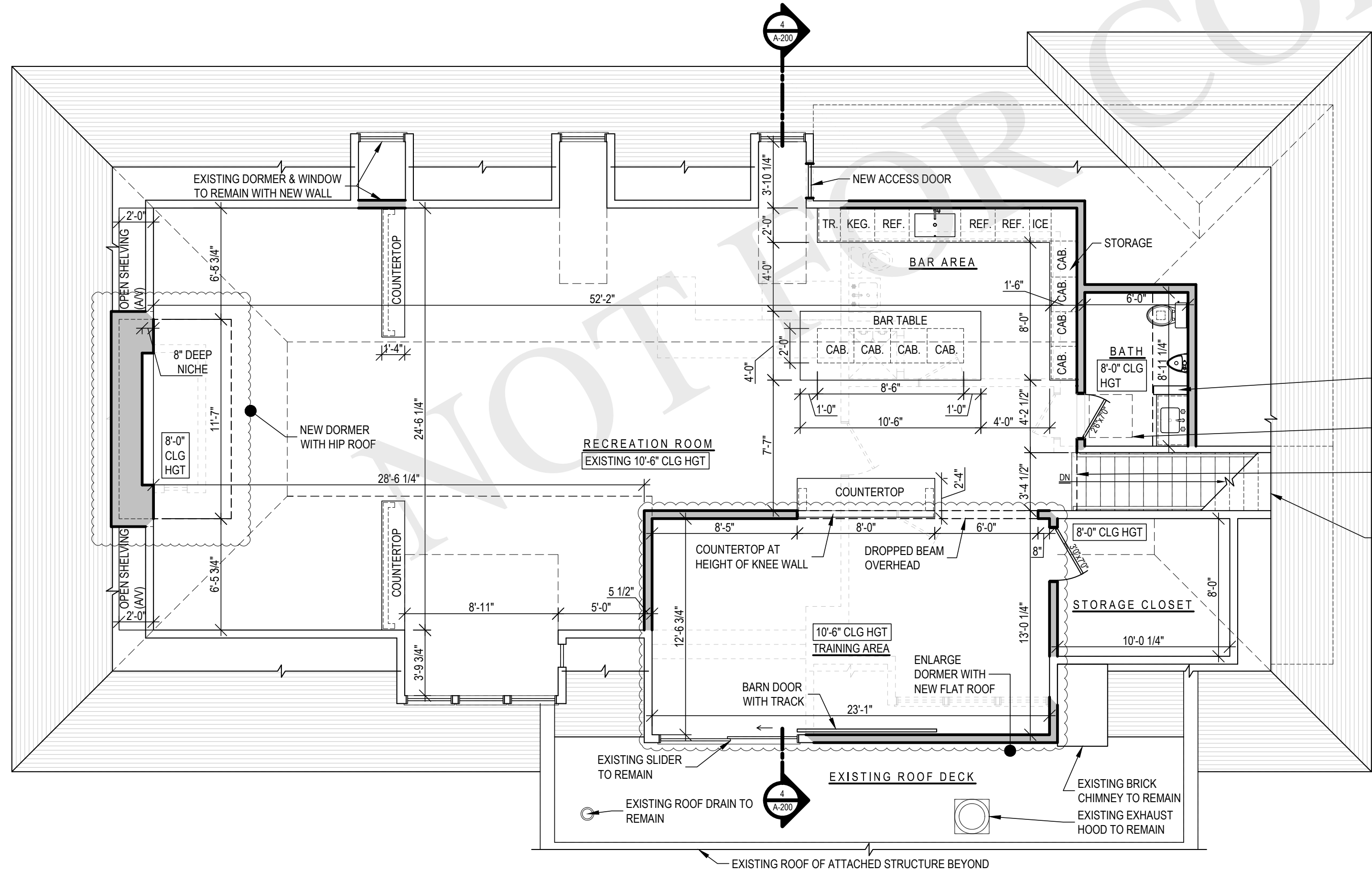
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**1** EXISTING FLOOR PLAN  
A-100 3/16" = 1'-0"



**1** PROPOSED DEMOLITION PLAN  
A-100 3/16" = 1'-0"



**3** PROPOSED FLOOR PLAN  
A-100 3/16" = 1'-0"

DRAWING INDEX	
PROJECT (2403): RESIDENCE AT 117 JESSUP AVE, NY 11959	
JOSEPH PAGAC ARCHITECT	
Sheet No.	Sheet Title
A-000	COVER SHEET
A-100	EXISTING, DEMOLITION & PROPOSED FLOOR PLAN
A-101	PROPOSED FLOOR FINISH PATTERN PLAN, REFLECTED CEILING PLAN & ELECTRICAL PLAN
A-200	PROPOSED EXTERIOR ELEVATIONS, SECTIONS & DETAIL
A-400	PROPOSED FURNITURE PLAN & INTERIOR ELEVATION
A-600	PROPOSED STRUCTURAL, ALLOWANCE SCHEDULE & PLUMBING FIXTURE SCHEDULE

GENERAL DEMOLITION NOTES:

1. PROVIDE SHORING AND DEMOLITION PHASING FOR ALL DEMOLITION AS REQUIRED BY STRUCTURAL ENGINEER.
2. COORDINATE REMOVAL OF FRAMING AND TEMPORARY SHORING WITH STRUCTURAL ENGINEER AND RELATED DRAWINGS
3. PROVIDE CARTING SERVICES AS REQUIRED FOR ALL REMOVALS AND CONSTRUCTION DEBRIS.
4. COORDINATE WORK FOR NEW UTILITY SERVICES AS REQUIRED. MARK-OUT SITE UTILITIES PRIOR TO REMOVALS.
5. REMOVE ANY ASBESTOS UNCOVERED DURING DEMOLITION IN ACCORDANCE WITH ALL APPLICABLE LAWS.
6. PROVIDE 42" HIGH SAFETY GUARDRAILS THROUGHOUT CONSTRUCTION AS REQUIRED BY LOCAL CODES.
7. PROVIDE 2 FIRE EXTINGUISHERS MINIMUM EACH FLOOR THROUGHOUT DEMOLITION AND CONSTRUCTION DURATION.
8. SECURE ALL WINDOWS AND DOORS UNLESS OTHERWISE NOTED. PROVIDE TEMPORARY PROTECTION AS NEEDED.
9. COORDINATE WITH OWNER'S IRRIGATION COMPANY PRIOR TO SITE REMOVALS AND AFTER FOR REPAIRS TO SYSTEM.
10. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS FOR NEW STRUCTURAL MEMBERS OR REPLACEMENT OF EXISTING STRUCTURAL MEMBERS.
11. COORDINATE ALL WORK WITH CONSULTANTS DRAWINGS BY OTHERS
12. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFO
13. REFER TO PROPERTY SURVEY FOR ADDITIONAL INFORMATION NOT SHOWN HERE
14. PROVIDE TEMPORARY FENCING AND RELATED PROTECTION, AS REQUIRED BY BUILDING DEPARTMENT
15. ALL EXISTING CONSTRUCTION TO REMAIN TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION WORK AS REQUIRED.

GENERAL EXCAVATION NOTES:

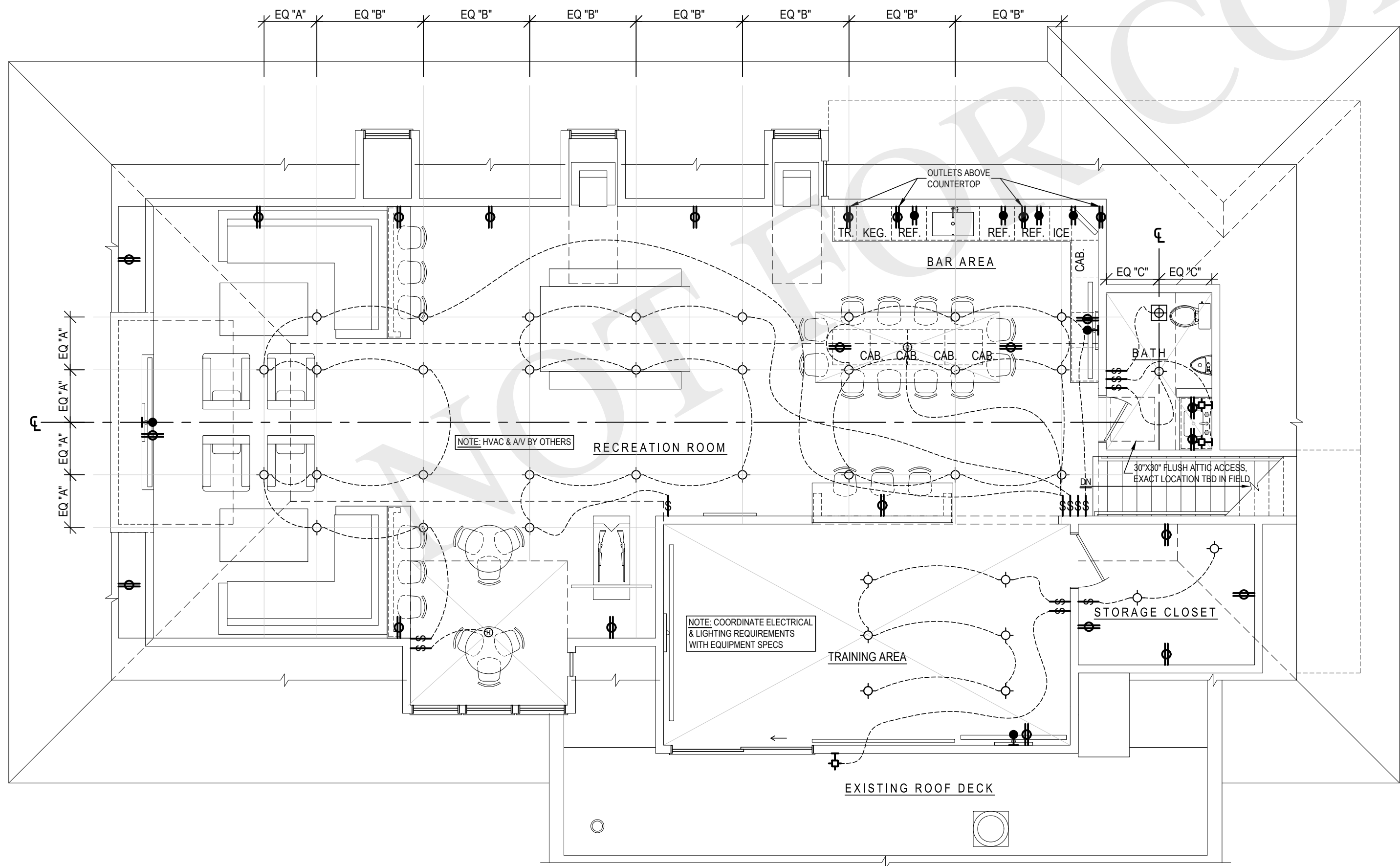
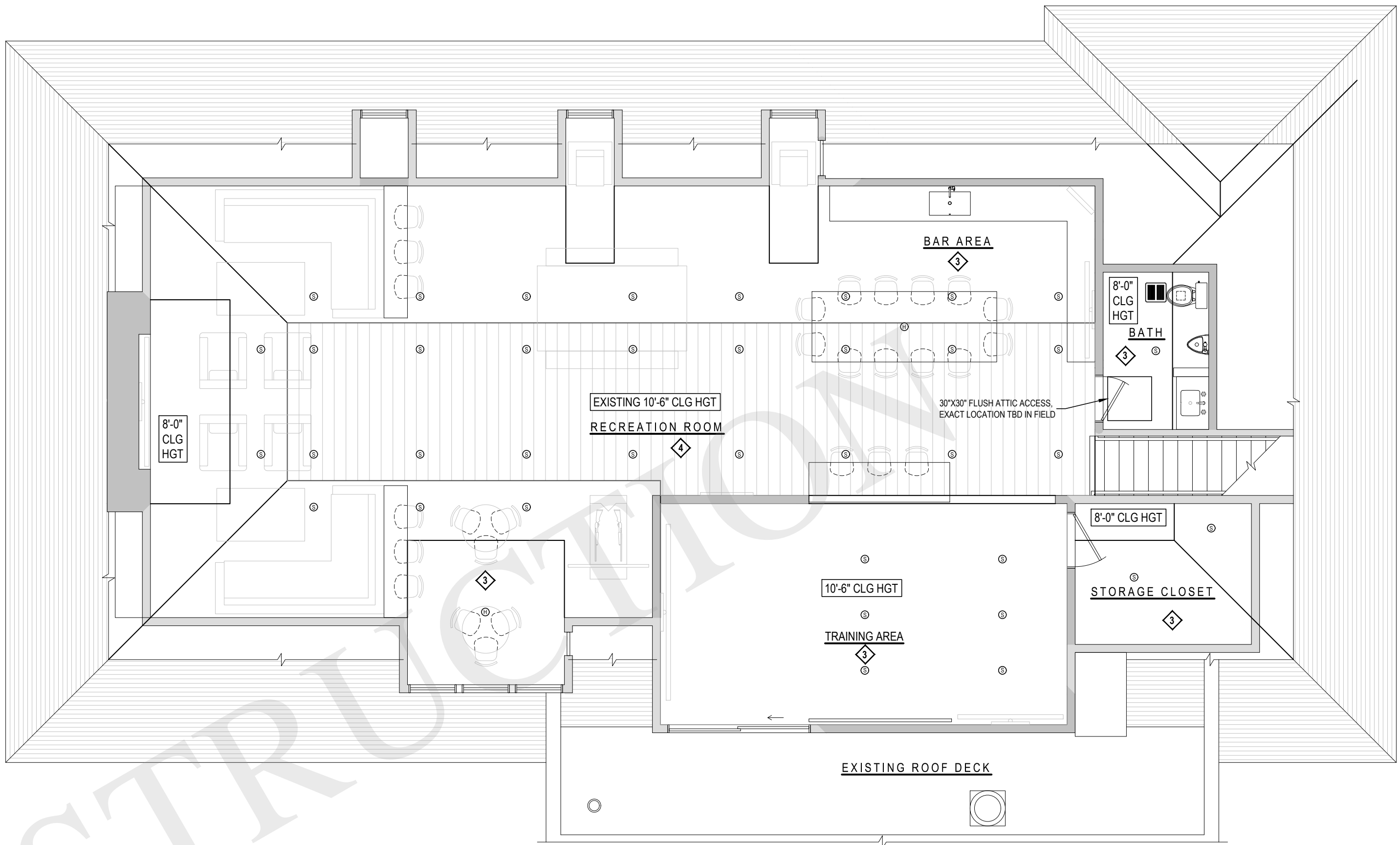
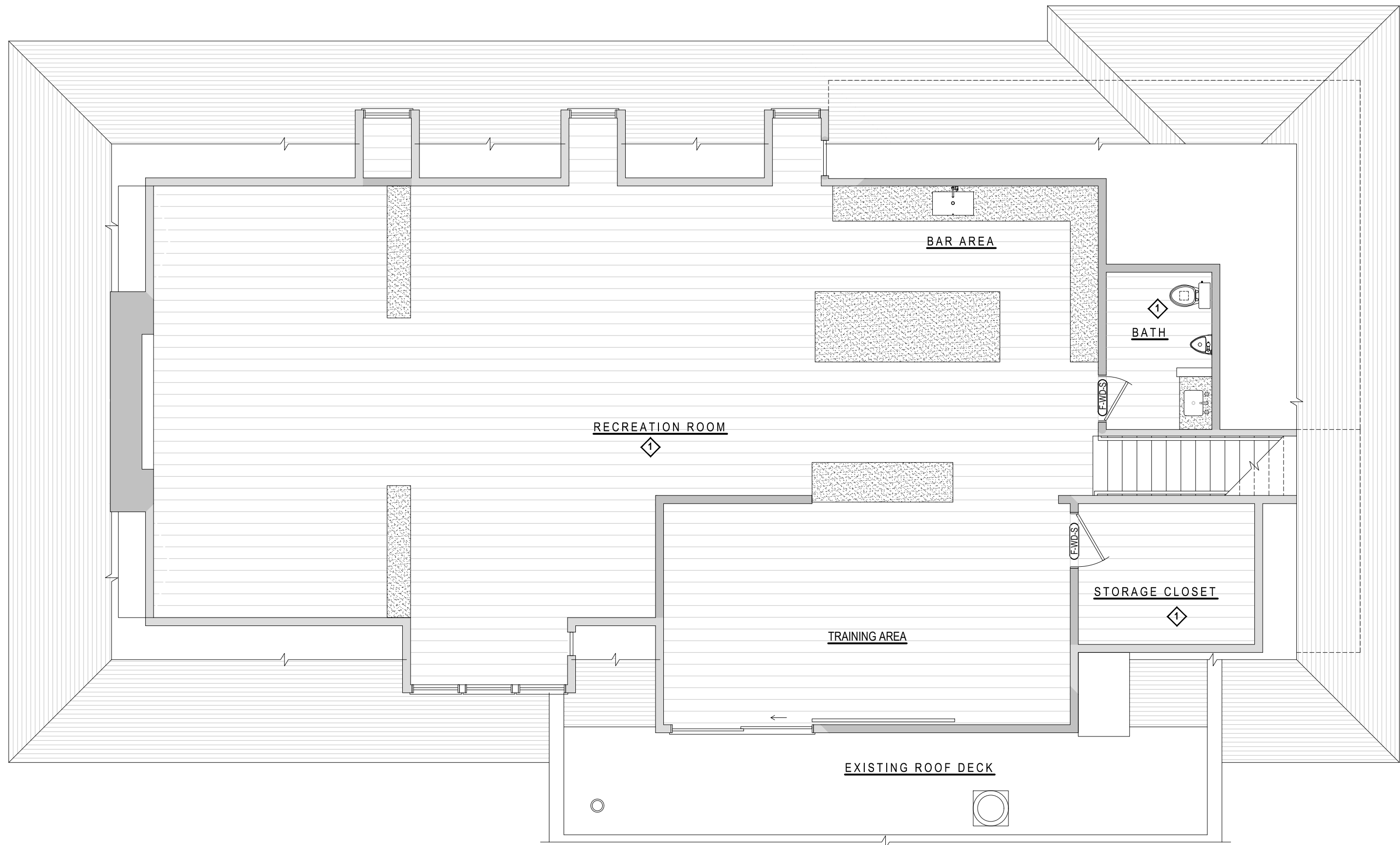
1. BEFORE EXCAVATING, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES, INCLUDING UNDERGROUND UTILITIES, IN THE FIELD
2. EXISTING ADJACENT STRUCTURES SHALL BE ADEQUATELY SHORED, BRACED AND UNDERPINNED AS NECESSARY.

WALL SYMBOL KEY

- EXISTING WALL TO REMAIN
- PROPOSED NEW STUD WALL
- EXISTING WALL TO BE REMOVED

- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- HEAT DETECTION ALARM

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1 PROPOSED REFLECTED CEILING PLAN  
A-101  
3/16" = 1'-0"

ELECTRICAL SYMBOL LEGEND

- 4" ROUND RECESSED LED LIGHT
- HANGING FIXTURE
- WALL MOUNTED LIGHT
- CLOSET LIGHT
- TV OUTLET
- EXHAUST FAN
- DIMMER SWITCH, UNLESS OTHERWISE NOTED
- DUPLEX OUTLET
- DUPLEX SPECIAL PURPOSE OUTLET
- GROUND FAULT INTERRUPTER OUTLET
- FLOOR OUTLET
- SMOKE DETECTOR

LIGHTING & ELECTRICAL GENERAL NOTES:

- COORDINATE ELECTRICAL PLANS WITH REFLECTED CEILING PLANS AND INTERIOR ELEVATIONS FOR ALL FIXTURE, OUTLET & SWITCH LOCATIONS. CONFIRM EACH LOCATION WITH ARCHITECT PRIOR TO FINAL INSTALLATION.
- CONTRACTOR TO COORDINATE FULL ELECTRICAL & LIGHTING SCOPE OF WORK WITH LIGHTING CONSULTANT, A/V CONSULTANT, SECURITY CONSULTANT, INTERIOR DESIGNER & ARCHITECT.
- RECESS ALL APPLIANCE OUTLETS AND REFER TO MANUFACTURER FOR SPECIFICATIONS AND FINAL LOCATIONS.
- CONTRACTOR SHALL INSTALL ALL FIXTURES SUPPLIED BY THE OWNER AS PER LIGHTING FIXTURE SCHEDULE.
- CONTRACTOR TO CONFIRM COVER SWITCH, OUTLET & DIMMER STYLES WITH ARCHITECT. ALL SWITCHES AND KEY PAD TYPES TO BE CONFIRMED.
- ALL REMOTE TRANSFORMERS FOR LOW VOLTAGE/LED LIGHTING TO BE LOCATED ON SITE WITH ARCHITECT.
- CONTRACTOR TO REVIEW FINAL LOCATIONS FOR THERMOSTATS AND TEMPERATURE SENSORS ON SITE WITH ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY LIGHT FIXTURES AND ELECTRICAL DEVICES COUNT ON ALL FLOORS. ELECTRICAL CONTRACTOR TO CONFIRM IF ADDITIONAL SMOKE DETECTORS AND/OR CARBON MONOXIDE DETECTORS ARE REQUIRED AS PER BUILDING CODE FROM WHAT HAS OTHERWISE BEEN INDICATED ON THE PROPOSED ELECTRICAL PLANS.
- ALL RECESSED LIGHT FIXTURES INSTALLED IN SLOPED CEILINGS TO BE GIMBAL TYPE DOWNLIGHT FIXTURES
- CONTRACTOR TO REFER TO MECHANICAL ENGINEER'S ELECTRICAL & POWER PLANS FOR ALL EQUIPMENT REQUIREMENTS, SIZES AND SPECIFICATIONS.
- CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR, A/V CONTRACTOR, AND SECURITY CONTRACTOR FOR THE INSTALLATION AND THE RUNNING OF ALL LOW VOLTAGE WIRES AS PART OF EACH CONTRACTOR'S SCOPE OF WORK.

FINISH FLOOR LEGEND:

- WOOD FLOORING:  
8" WIDE WHITE WASHED OAK SPEC TBD, COLOR TBD  
\*CONTRACTOR TO PROVIDE FINISH SAMPLES FOR ARCHITECT'S APPROVAL
- STONE/TILE FLOORING:  
TILE FLOOR SPEC, TBD

ABBREVIATIONS:

- RAISED STONE SADDLE
- RAISED WOOD SADDLE
- FLUSH STONE SADDLE (SEE DETAILS)
- FLUSH WOOD SADDLE (SEE DETAILS)

KEY:

- STONE SLAB COUNTERTOP:  
SEE STONE & TILE SCHEDULE FOR SPECIFICATIONS
- BUILT-IN CABINETRY:  
SEE INTERIOR ELEVATIONS FOR DETAILS
- SOLID WOOD COUNTERTOP:  
SEE INTERIOR ELEVATIONS FOR DETAILS
- TILE  
SEE STONE & TILE SCHEDULE FOR SPECIFICATIONS
- NOTE: U.O.N. PROPOSED FINISHED FLOORING TO BE INSTALLED UNDER ALL BUILT-IN CABINETRY, VANITIES, PLUMBING FIXTURES (SUCH AS TOILETS & FREE-STANDING TUBS), ETC.
- FLOOR MOUNTED SUPPLY GRILLE:  
CONTRACTOR TO COORDINATE WITH MECHANICAL DWGS. FINAL SIZES, LOCATIONS, AND GRILLE SPECS/FINISHES TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.

NOTE:  
ELECTRICIAN TO COORDINATE WITH FIRE DEPARTMENT FOR LOCATION AND SPECS AS REQUIRED FOR ALARM STROBE LIGHTING AND "CALL MONITOR" TV

REFLECTED CEILING PLAN LEGEND:

- 5/8" GYPSUM CEILING, PAINTED.
- 5/8" TONGUE & GROOVE WHITE OAK PANELED CEILING, STAINED.

NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

NOTES:

CONTRACTOR TO CONFIRM ALL PROPOSED CEILING FIXTURES WITH ELECTRICAL PLANS.

CONTRACTOR TO MARK OUT LOCATIONS OF ALL PROPOSED CEILING FIXTURES FOR ARCHITECT'S APPROVAL PRIOR TO INSTALLATION AND THE RUNNING OF WIRES.

ELECTRICAL CONTRACTOR TO CONFIRM IF ADDITIONAL SMOKE DETECTORS AND/OR CARBON MONOXIDE DETECTORS ARE REQUIRED AS PER BUILDING CODE FROM WHAT HAS OTHERWISE BEEN INDICATED ON THE PROPOSED PLANS.

NOTES:

ALL FINISHED MATERIAL SAMPLES INCLUDING GROUT & MORTAR TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.

FINAL LOCATIONS, SIZES & SPECS OF ALL PROPOSED HVAC FLOOR GRILLES TO BE COORDINATED WITH MECHANICAL PLANS AND REVIEWED WITH ARCHITECT ON SITE PRIOR TO INSTALLATION.

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**PROPOSED FFP  
PLAN, RCP &  
ELECTRICAL PLAN**

SCALE: AS NOTED

**A-101**

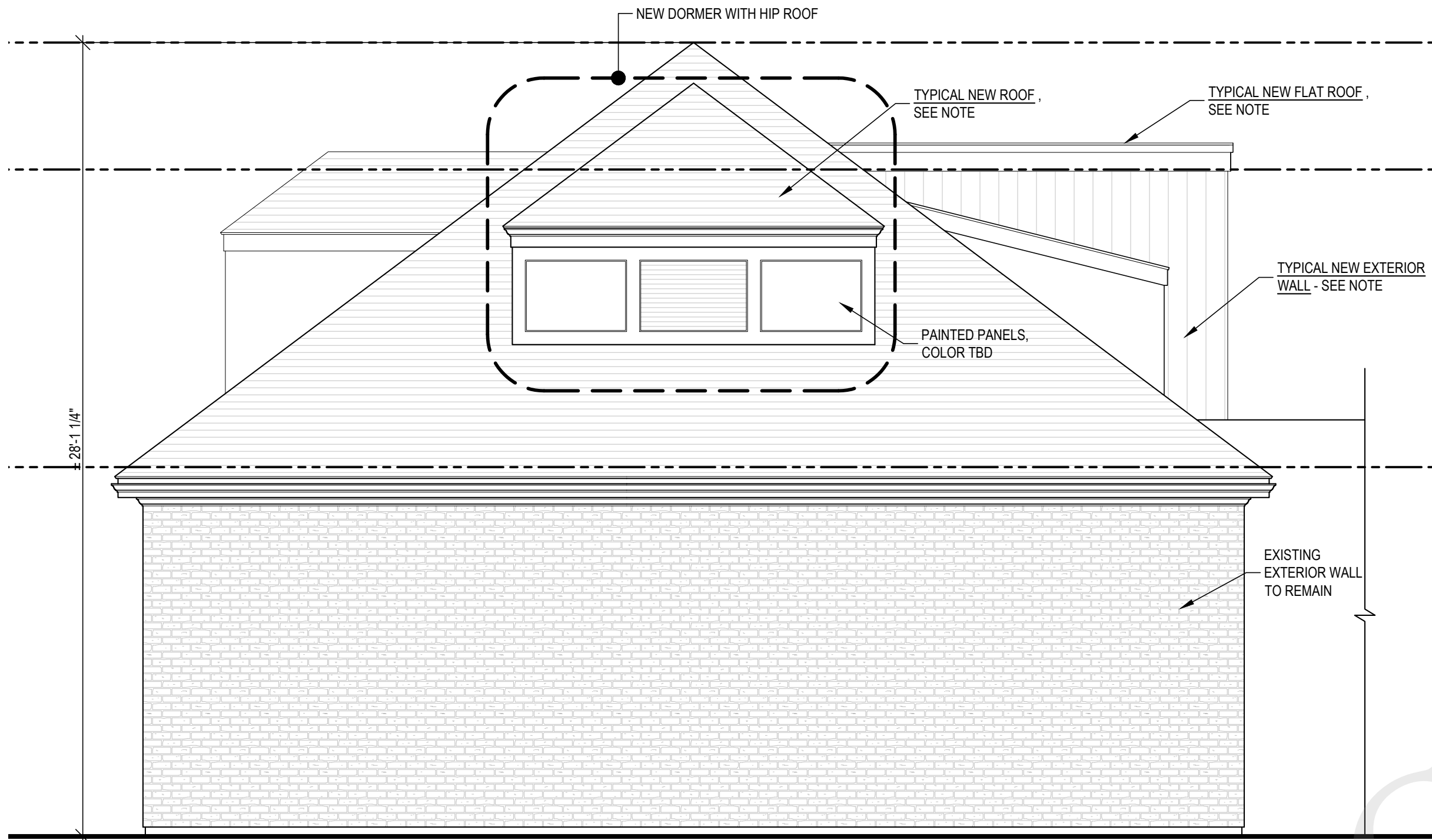
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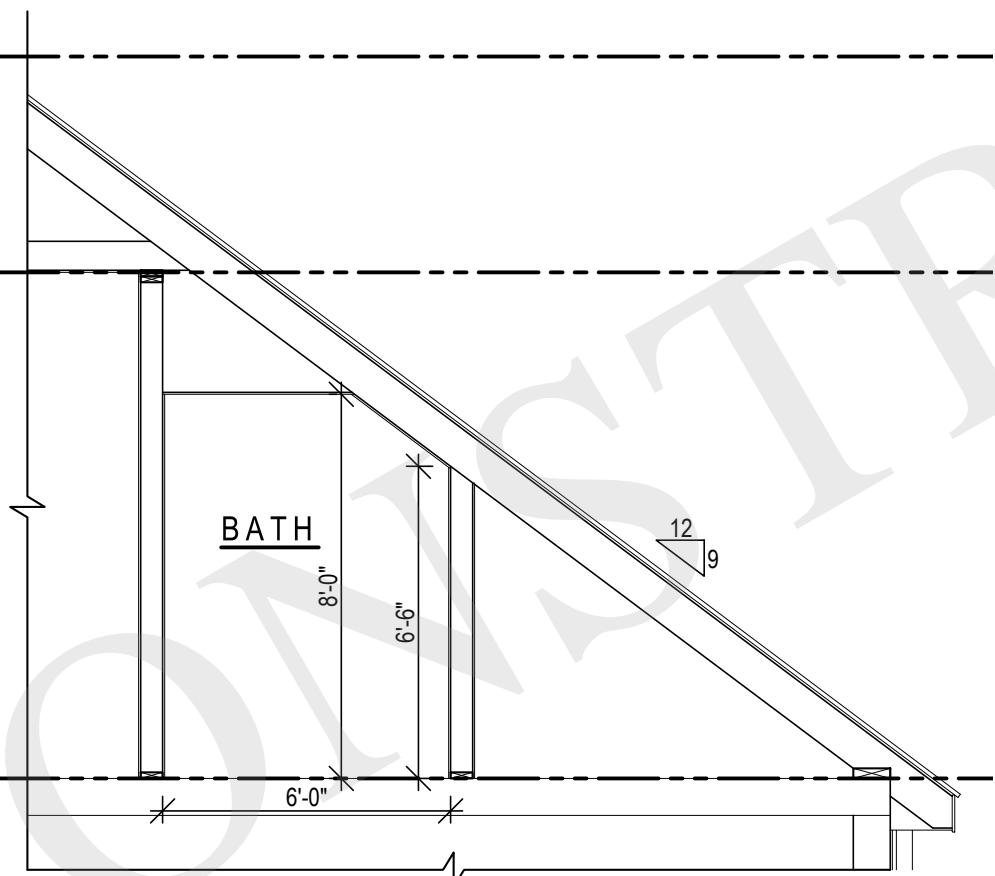
TYPICAL NEW EXTERIOR WALL - MATCH EXISTING SIDING  
SIDING TO MATCH EXISTING 1X8 BORAL V-GROOVE VERTICAL SIDING, PAINTED WHITE

TYPICAL FLAT ROOF  
INSTALL .090 FIRESTONE EPDM SELF-ADHERED ROOFING MEMBRANE OVER 1/2" FIRESTONE  
ISOGUARD COVER BOARD OVER TAPERED INSULATION PANELS (1/4" / FT MIN), OR APPROVED  
EQUAL, OVER 5/8" CDX PLYWOOD SHEATHING OVER ROOF RAFTERS WITH LEAD COATED COPPER  
DRIP EDGE, SEE STRUCTURAL DRAWINGS. ROOFING TO BE INSTALLED AS PER MANUFACTURERS  
SPECIFICATIONS.

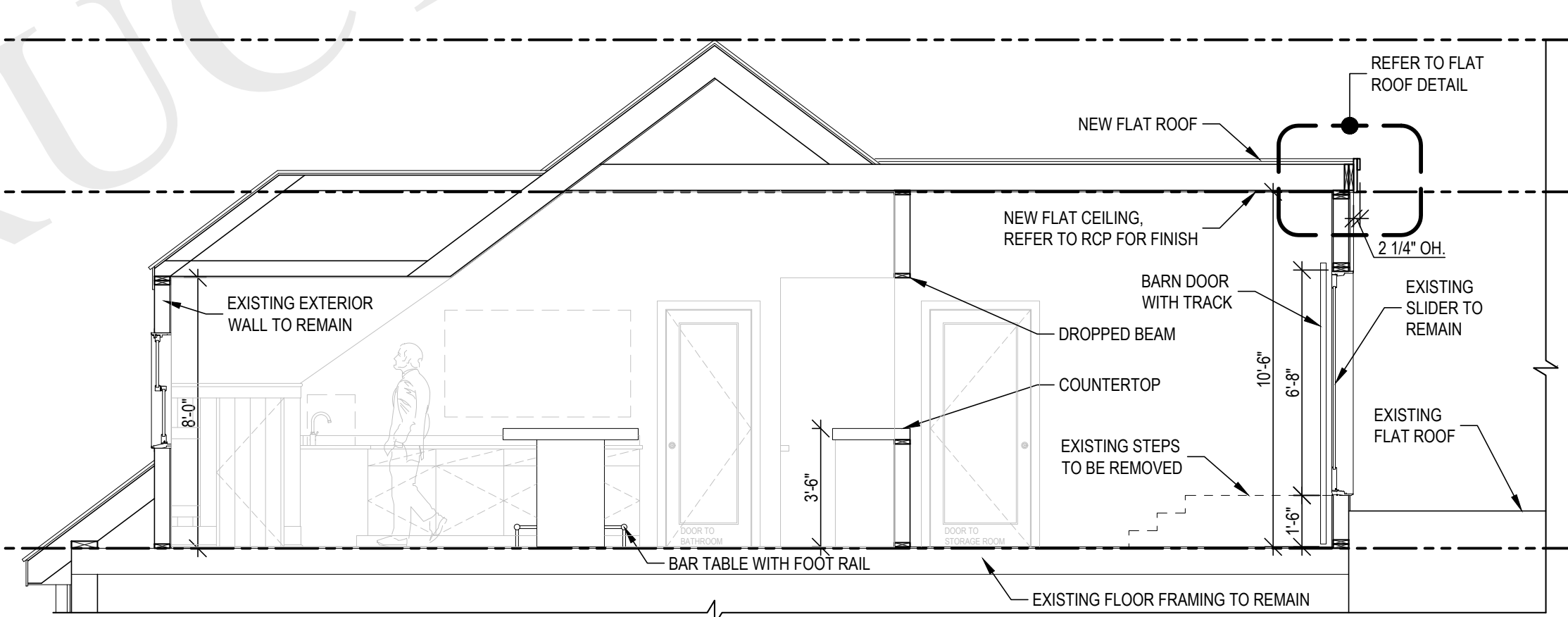
TYPICAL NEW ROOF  
ROOF TO MATCH EXISTING COMPOSITE "SLATE"



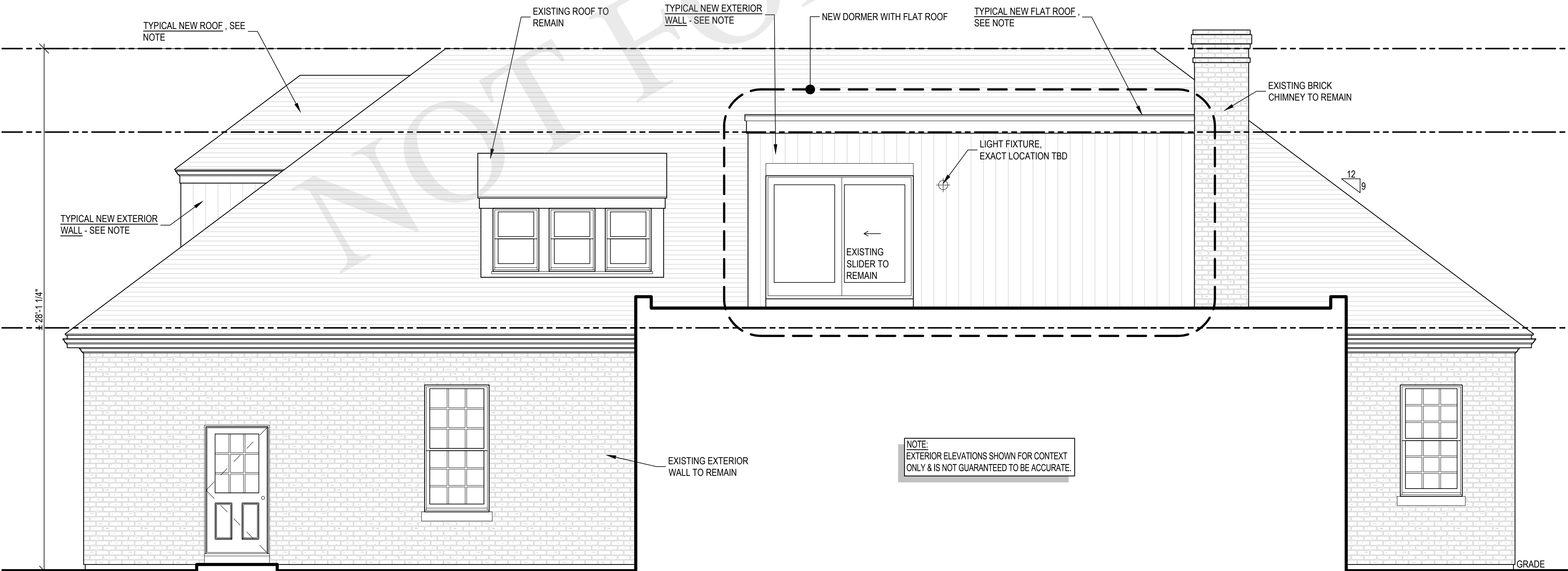
1 PROPOSED EXTERIOR ELEVATION  
1/4" = 1'-0"



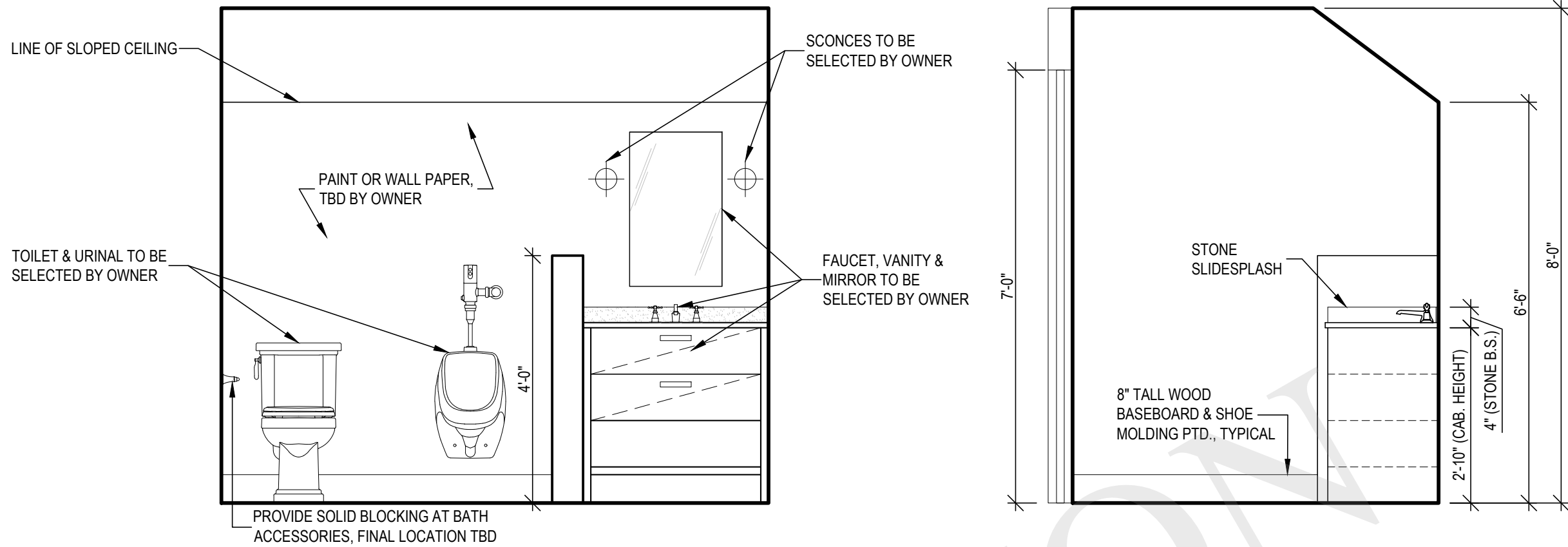
3 PROPOSED BATHROOM SECTION  
1/4" = 1'-0"



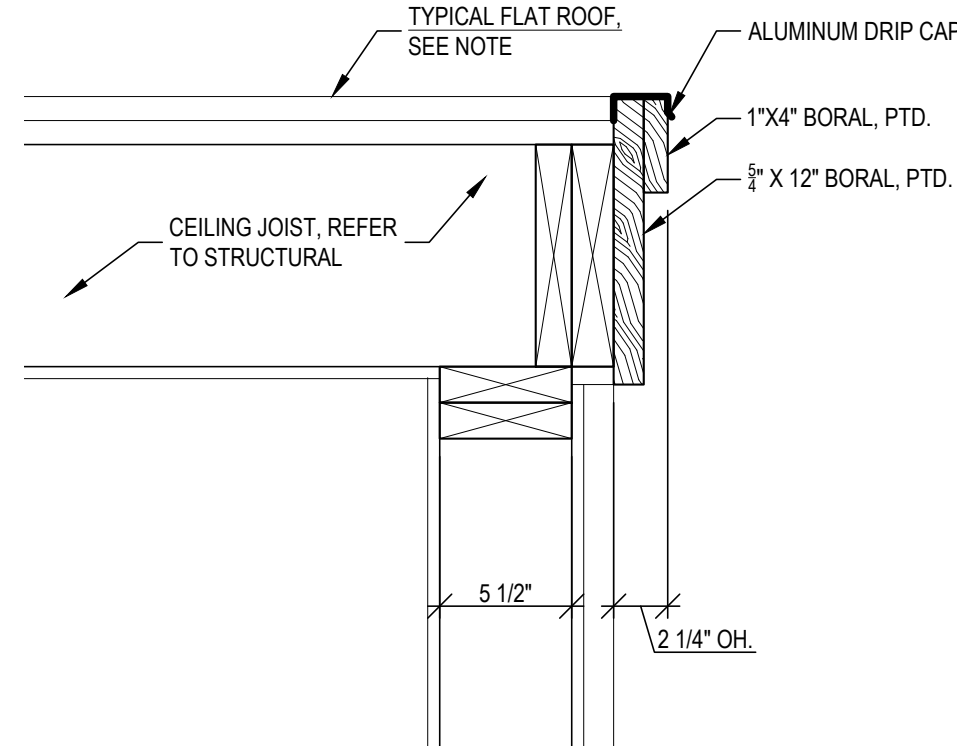
4 PROPOSED BUILDING SECTION  
1/4" = 1'-0"



5 PROPOSED EXTERIOR ELEVATION  
1/4" = 1'-0"



2 PROPOSED BATHROOM INTERIOR ELEVATIONS  
1/2" = 1'-0"



6 PROPOSED FLAT ROOF DETAIL  
1 1/2" = 1'-0"

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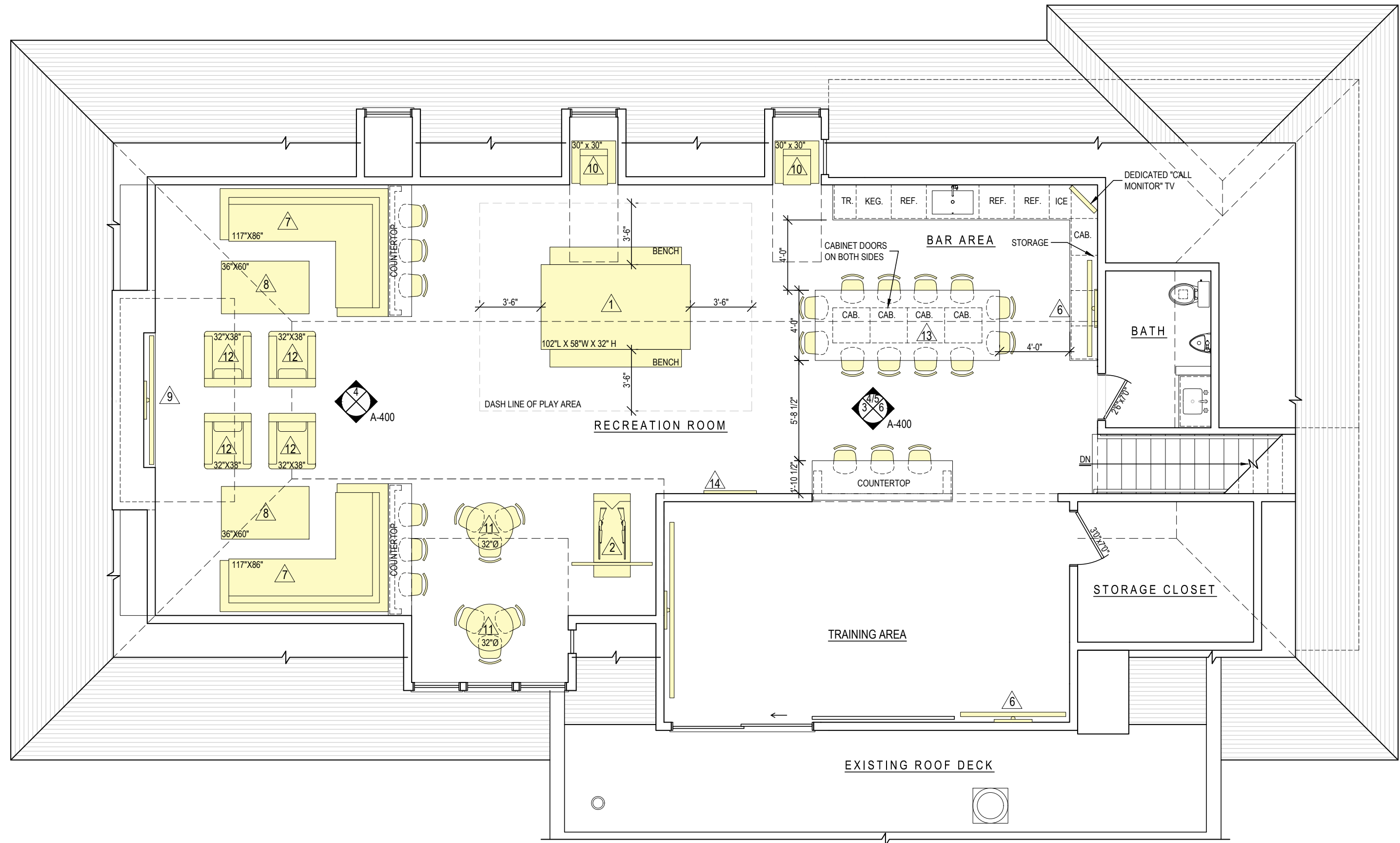
PROPOSED EXTERIOR  
ELEVATIONS, SECTION  
& DETAIL

SCALE: AS NOTED

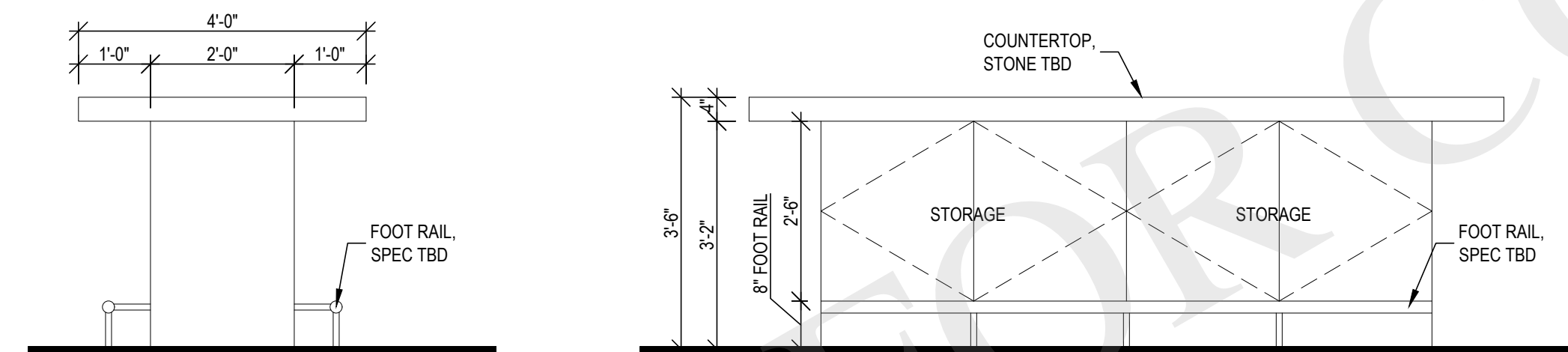
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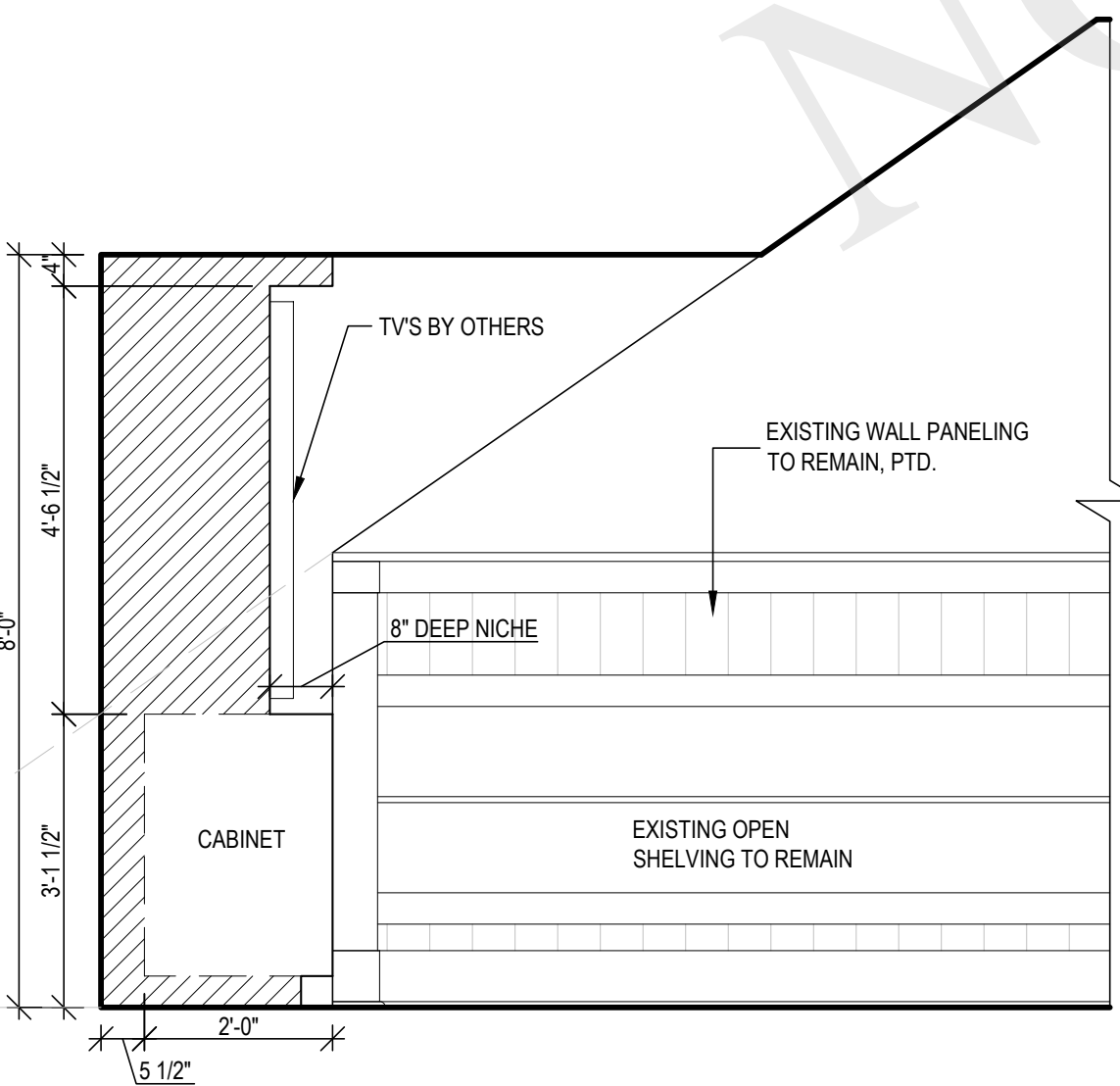
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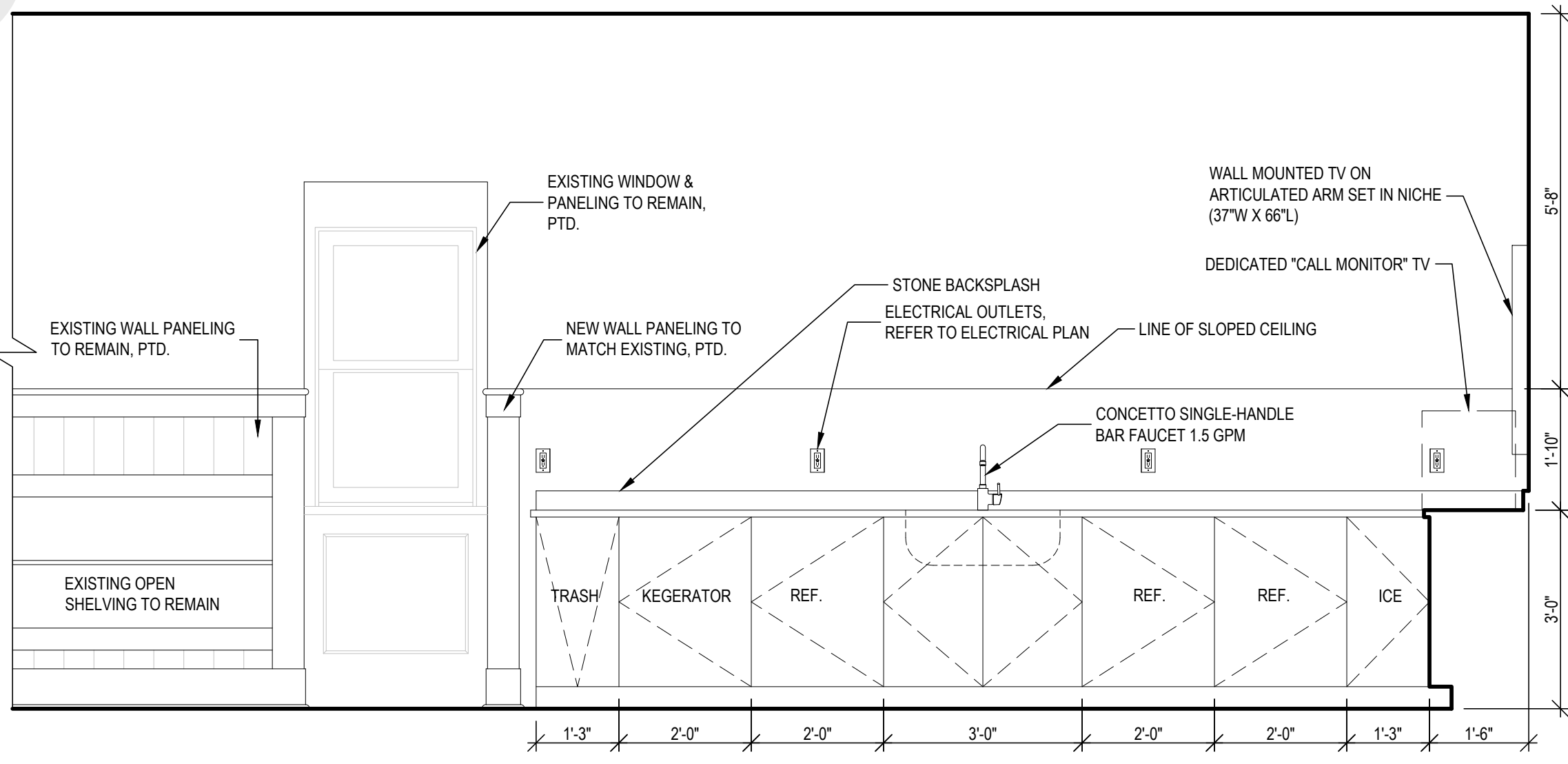
1 PROPOSED FURNITURE PLAN  
A-400  
3/16" = 1'-0"



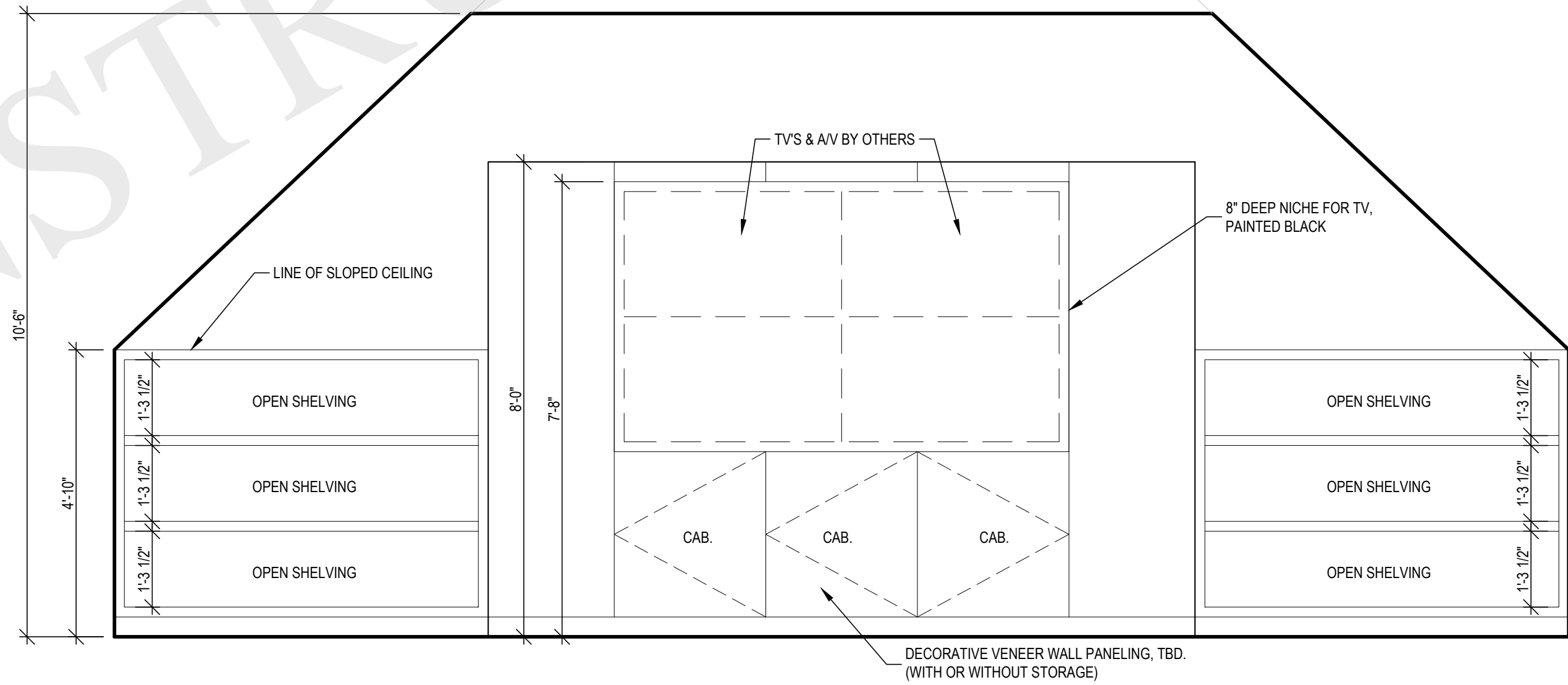
2 PROPOSED BAR TABLE ELEVATION  
A-400  
1/2" = 1'-0"



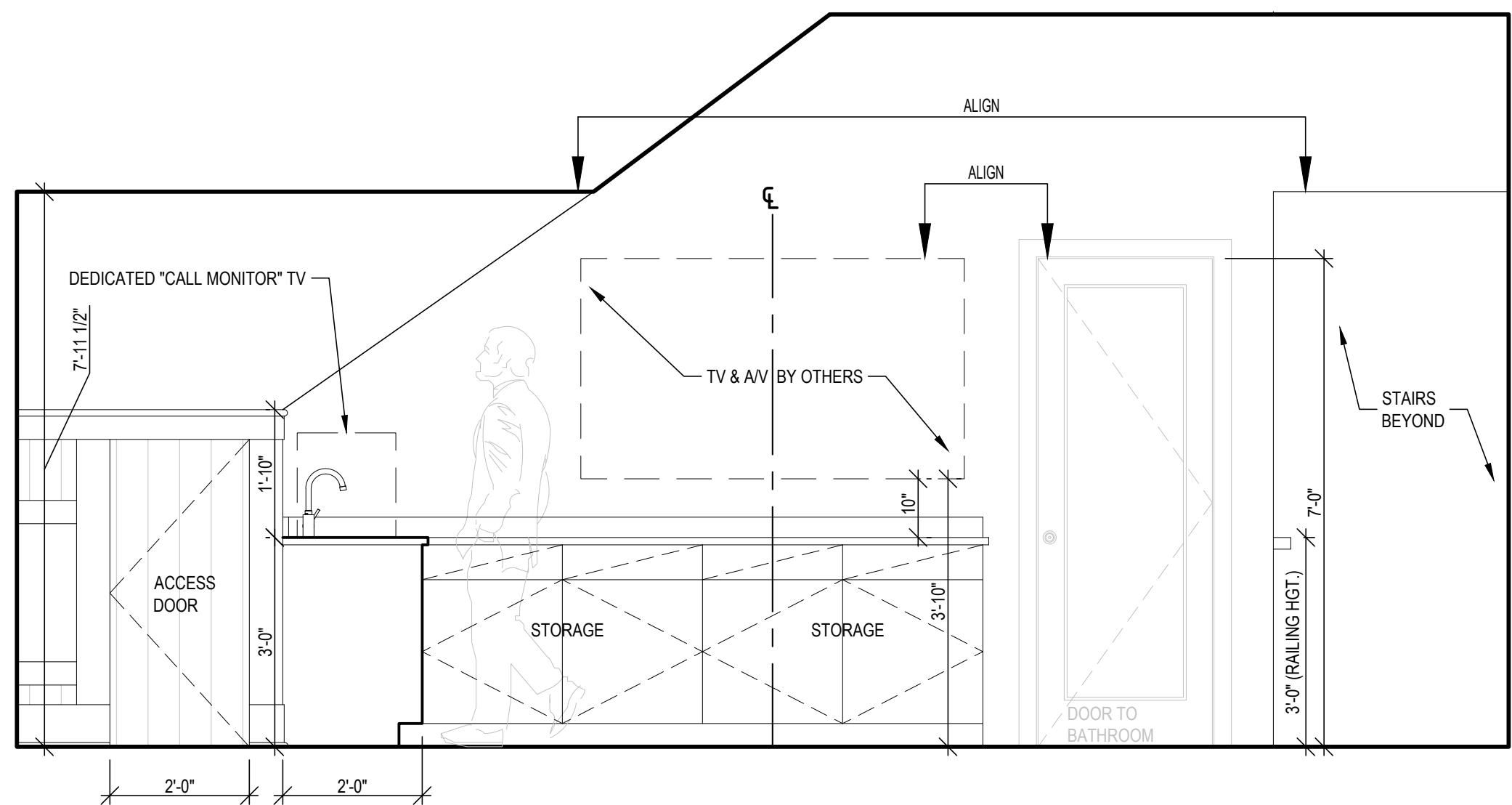
4 PROPOSED INTERIOR ELEVATION (REC RM. SIDE VIEW)  
A-400  
1/2" = 1'-0"



5 PROPOSED INTERIOR ELEVATION (BAR AREA WALL)  
A-400  
1/2" = 1'-0"



3 PROPOSED INTERIOR ELEVATION (REC. ROOM WALL)  
A-400  
1/2" = 1'-0"



6 PROPOSED INTERIOR ELEVATION (BAR AREA TV WALL)  
A-400  
1/2" = 1'-0"

KEY TO FURNITURE & EQUIPMENT

1	NEW POOL / DINING TABLE WITH BENCH 102"L X 58"W X 32" H	8	NEW TABLE 36"LX60"W
2	EXISTING BUCKHUNTER 47"L X 25"W X 55"TV	9	NEW BIG SCREEN TV 100"W
3	EXISTING KEGERATOR 20"L X 24"W X 35"H	10	NEW SOFA CHAIRS 30"LX30"W
4	EXISTING REFRIGERATOR (NOT USED) 50"L X 27"W X 33"H	11	NEW ROUND TABLE 32"Ø
5	EXISTING REFRIGERATOR (NOT USED) 30"W	12	NEW RECLINING CHAIRS 38"LX32"W
6	NEW TV 75"W	13	NEW BAR TABLE 126"LX48"WX42"H
7	NEW SOFA 117"LX86"W	14	DART BOARD SUPPLIED BY OWNERS

GENERAL CABINETRY NOTES:

- CABINETS TO BE PAINT GRADE SOLID WOOD & PLYWOOD.
- FACE FRAME & DOORS TO BE 1" THICK PAINT GRADE SOLID WOOD. DOOR STYLES AND PANEL STYLES TO BE REVIEWED AND APPROVED BY ARCHITECT AT MILLWORKER'S SHOP.
- CABINET INTERIORS TO BE CLEAR-FINISHED MAPLE, EXCEPT AT GLASS OR MESH CABINETS WHERE THEY ARE TO BE SHOP PAINTED, AS PER APPROVED SAMPLE.
- BOXES TO BE 3/4" PLYWOOD (SIDES, BOTTOM & BACK).
- DRAWERS TO HAVE UNDER-MOUNTED FULL EXTENSION SELF-CLOSING GLIDES. SELF-CLOSING CABINET GLIDES TO BE BLUM TANDEM PLUS BLUMOTION, UNDERMOUNTED (BLUM #563).
- ADJUSTABLE GLASS SHELVES TO BE 3/8" THICK GLASS, MOUNTED ON GLASS SUPPORTS, HAFELE #281.40.703 (STEEL WITH TRANSPARENT PLASTIC CAP), PIN HOLES TO BE DRILLED 2" O.C. IN FULL HEIGHT.
- ADJUSTABLE WOOD SHELVES TO BE 3/4" THICK WITH SOLID WOOD EDGES MOUNTED ON 5 MM SHELF PINS (CHROME FINISH), PIN HOLES TO BE DRILLED 2" O.C. IN FULL HEIGHT.
- PULL OUT TRAYS/SHELVES TO BE 3/4" THICK WITH 2" HIGH LIP ON (4) SIDES, WITH SOLID WOOD EDGES, ON SIDE-MOUNTED FULL EXTENSION SELF-CLOSING GLIDES.
- ALL DOORS TO HAVE FULLY MORTISED MAGNETIC CATCHES.
- DOOR/DRAWER PULLS TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
- CABINETS TO BE FLUSH CONSTRUCTION WITH EXPOSED HINGES. HINGES PROVIDED BY OWNER, SPEC TBD.
- CABINETS TO BE SHOP PRIMED AND PAINTED AS PER APPROVED SAMPLE, COLOR TBD.

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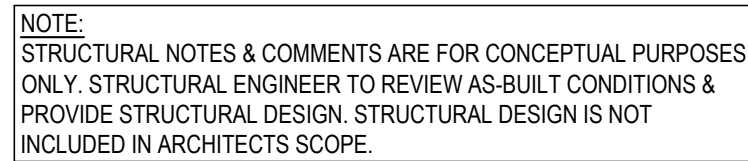
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DRAWING TITLE

PROPOSED  
FURNITURE PLAN &  
INTERIOR ELEVATION

SCALE: AS NOTED

A-400

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## 2 PROPOSED ALLOWANCE SCHEDULE

## FIXTURE & TILE ALLOWANCE SCHEDULE

7/31/2024

ALLOWANCE SCHEDULE IS TO BE USED FOR BIDDING PURPOSES ONLY. SCHEDULE DOES NOT REPRESENT ACTUAL FINAL SELECTION COST. PRICE INDICATED IS FOR PURCHASE OF MATERIAL ONLY. CONTRACTOR TO INCLUDE PRICE FOR INSTALLATION IN BID

### PLUMBING FIXTURE & FITTING SCHEDULE

PROJECT LOCATION: 117 Jessup, Quogue  
PROJECT NO: 2403  
PREPARED BY: JOSEPH PAGAC ARCHITECT  
COORDINATED WITH:

**NOTES:**

1. FINAL SPECIFICATIONS OF ALL PROPOSED PLUMBING FIXTURES TO BE COORDINATED WITH INTERIOR DESIGNER.
2. ANY EXPOSED PLUMBING WORK (SUPPLIES, TRAPS, WASTE, ETC.) TO BE THE SAME FINISH AS THE PROPOSED PLUMBING FIXTURE OF THAT ROOM.
3. CONTRACTOR TO PROVIDE ALL REQUIRED PARTS & COMPONENTS FOR PROPER INSTALLATION AND USE OF EACH FIXTURE.
4. ALL ROUGH-IN SPECIFICATIONS TO BE CONFIRMED BY SUPPLIER.
5. CONTRACTOR TO VERIFY AND CONFIRM REQUIRED FLOW RATES FOR ALL FAUCETS, SHOWERHEAD AND HANDSHOWERS FOR PROPER USE.

BATHROOM	TOILET	1		
	URINAL	1		
	VANITY	1		
	FAUCET	1		
RECREATION ROOM	REFRIGERATOR	2		
	DISHWASHER	1		
	ICEMAKER	1		
	FAUCET	1	CONCETTO SINGLE-HANDLE BAR FAUCET 1.5 GPM	

3

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PROP STRUCTURAL

SCALE: AS NOTED

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