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FRONT ELEVATION



REAR ELEVATION

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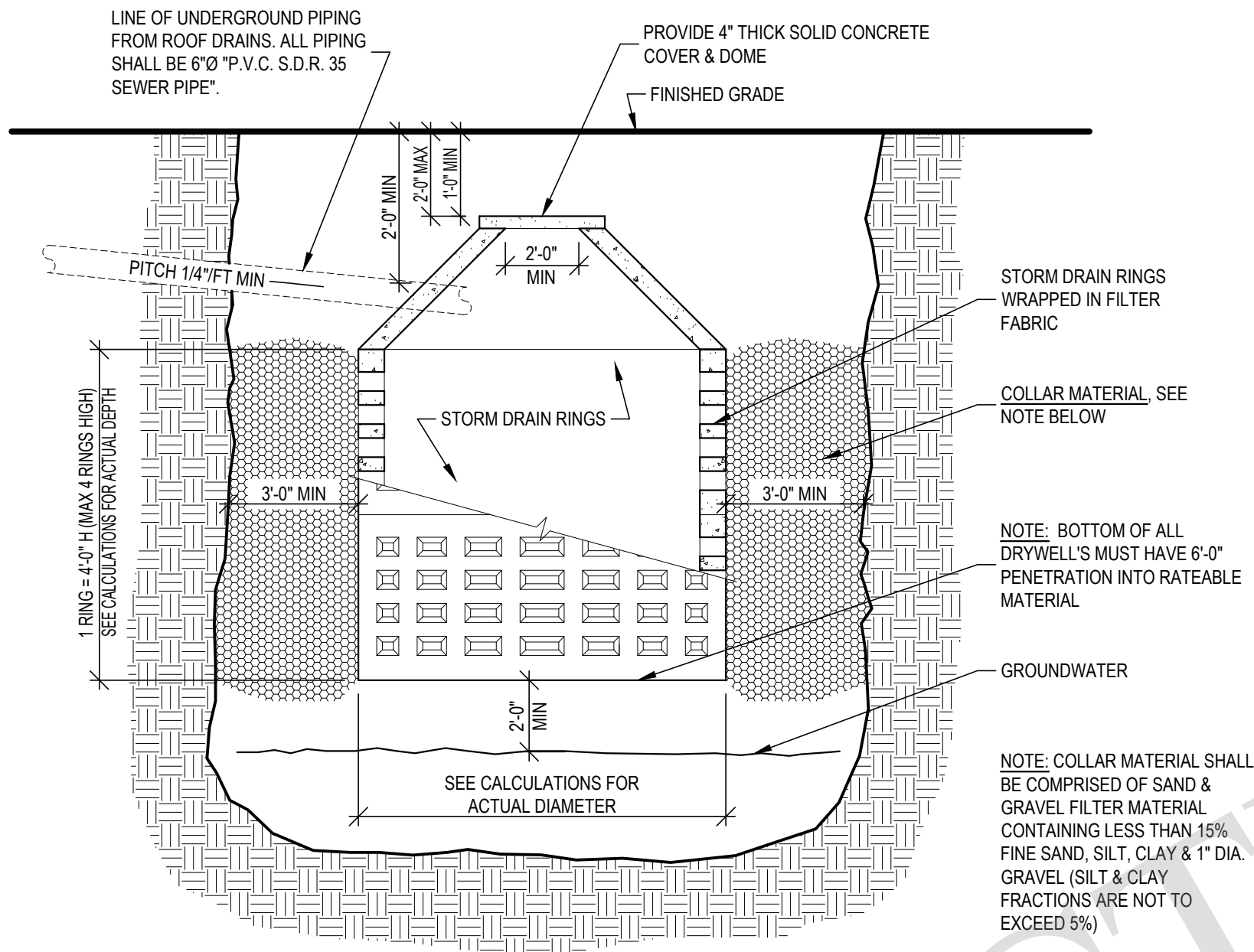
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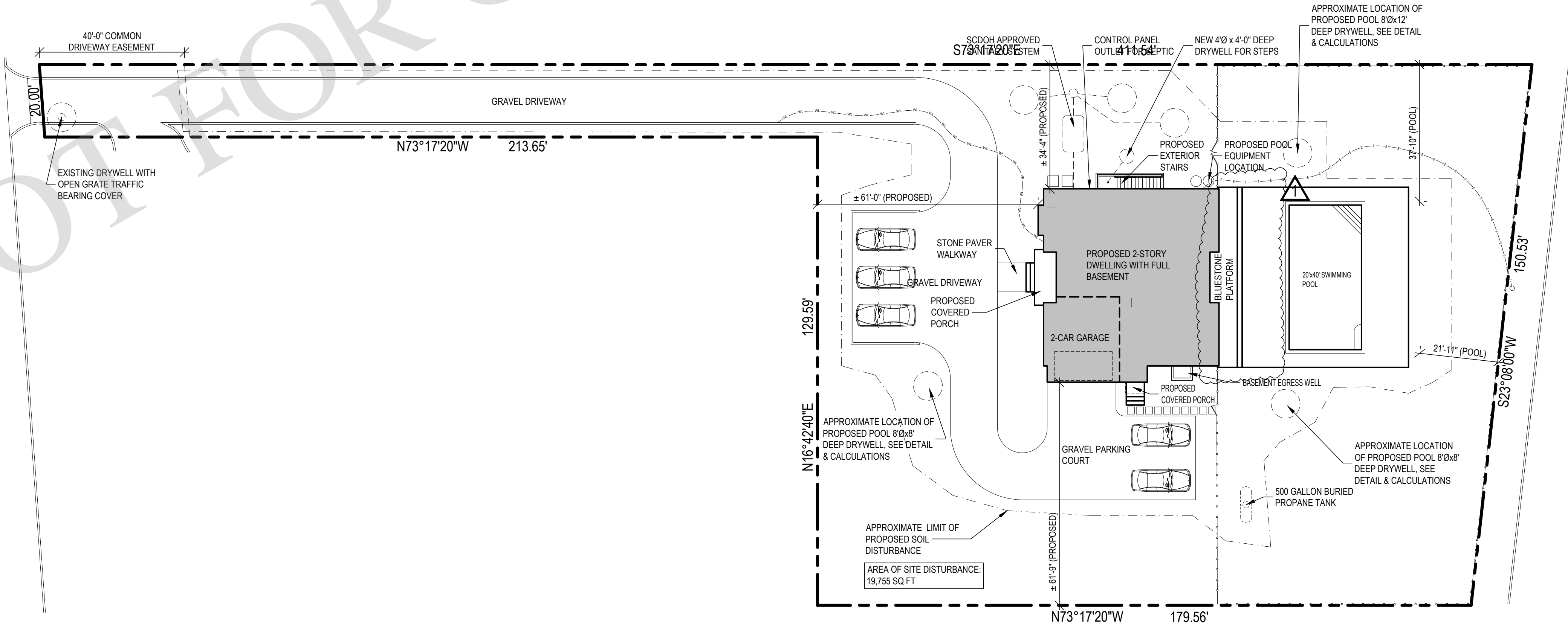


HOUSE, PATIO & SWIMMING POOL DRYWELL CALCULATIONS	
DESIGN FOR A STORM DRAIN SYSTEM SERVING A NEW ROOF & PATIO AREA OF:	4481 SF
VOLUME REQUIRED (3" RAINFALL)	1120.25 CU FT
(1) 8'-0"Ø x 4'-0" H STORM DRAIN RING =	168.9 CF
STORM DRAIN RINGS REQUIRED (VOLUME REQUIRED/168.9 CF)	6.63 RINGS REQ
STORM DRAIN RINGS TO BE PROVIDED	7
REFER TO SITE PLAN FOR LOCATION OF DRYWELLS	

- SITE WORK NOTES:**
- COORDINATE ANY PLANTING AND LANDSCAPE REMOVAL WITH ARCHITECT AND OWNER PRIOR TO DISTURBING.
 - COORDINATE WORK FOR NEW UTILITY SERVICES AS REQUIRED WITH APPROPRIATE AGENCIES. MARK-OUT ALL SITE UTILITIES PRIOR TO REMOVALS.
 - CONFIRM LOCATIONS OF NEW TANKS WITH UTILITY COMPANY PRIOR TO EXCAVATION
 - PROVIDE 42" HIGH SAFETY GUARDRAILS AROUND EXCAVATED AREAS AS REQUIRED BY LOCAL CODES.
 - COORDINATE WITH OWNER'S IRRIGATION COMPANY PRIOR TO REMOVALS AND AFTER FOR REPAIRS TO SYSTEM.
 - REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFO, AS APPLICABLE
 - REFER TO PROPERTY SURVEY, PREPARED BY OTHERS, FOR ADDITIONAL INFORMATION NOT SHOWN HERE
 - PROVIDE TEMPORARY FENCING AND RELATED WORK, AS REQUIRED BY BUILDING DEPARTMENT
 - REFER TO SHEET A-001 FOR ADDITIONAL NOTES, AS APPLICABLE.
 - EXISTING ADJACENT STRUCTURES SHALL BE ADEQUATELY SHORED, BRACED AND UNDERPINNED AS NECESSARY.

NYS CODE SECTION R326.4.2.8

DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM THAT PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL 2017. THE AUDIBLE ALARM SHALL ACTIVATE WITHIN 7 SECONDS AND SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS AFTER THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED AND BE CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES. THE ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS. THE ALARM SYSTEM SHALL BE EQUIPPED WITH A MANUAL MEANS, SUCH AS A TOUCH-PAD OR SWITCH, TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. DEACTIVATION SHALL LAST FOR NOT MORE THAN 15 SECONDS. ANY DEACTIVATION SWITCH(ES) SHALL BE LOCATED AT LEAST 5'4" ABOVE THE THRESHOLD OF THE DOOR. OPERABLE WINDOWS IN THE WALL OR WALLS USED AS A BARRIER SHALL HAVE A LATCHING DEVICE LOCATED NO LESS THAN 48" ABOVE THE FLOOR. OPENINGS IN OPERABLE WINDOWS SHALL NOT ALLOW A 4-INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION.



1 PROPOSED SITE PLAN
A-010 1" = 20'-0"

SEAL

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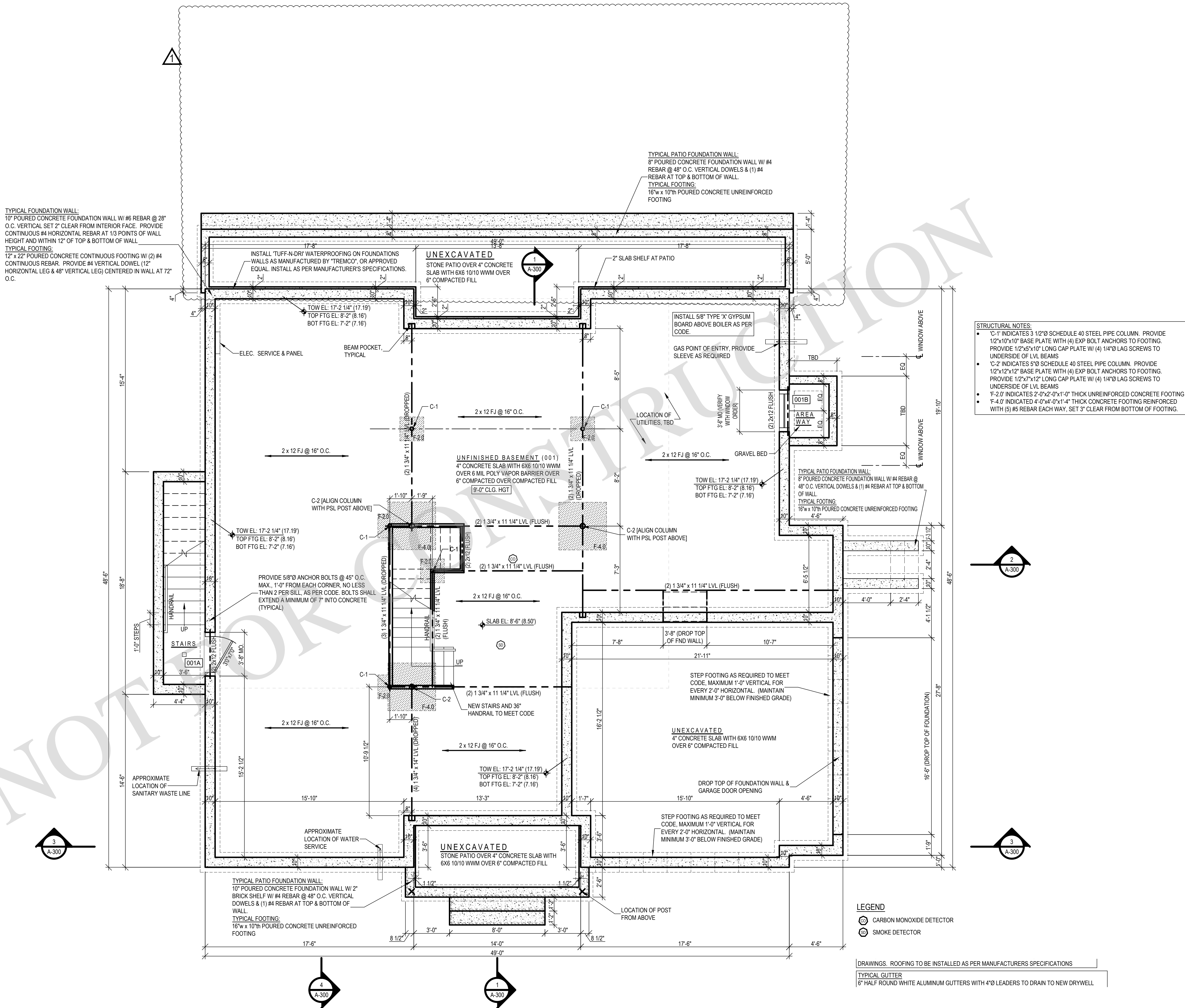
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PROPOSED SITE PLAN

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A-010

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1 PROPOSED FOUNDATION PLAN
A-100 1/4" = 1'-0" UNFINISHED BASEMENT AREA= 1,942 SQ.FT

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PROPOSED
FOUNDATION PLAN

SCALE: AS NOTED

A-100

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ALL MECHANICAL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, BOILER, FURNACE, HOT WATER HEATER, AIR HANDLERS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS TO COMPLY WITH CODE

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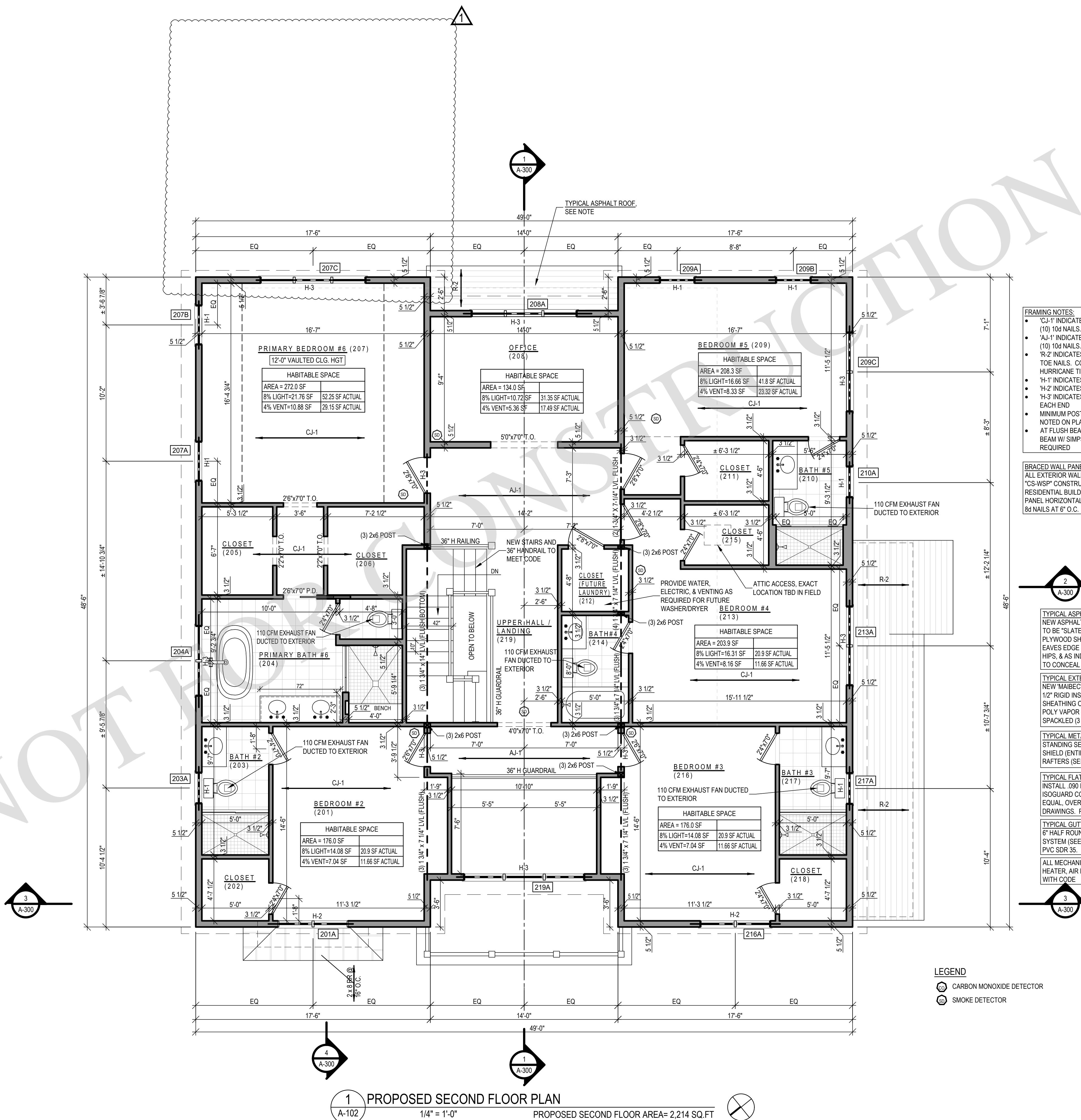
PROPOSED FIRST FLOOR PLAN

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A-101

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- FRAMING NOTES:**
- 'CJ-1' INDICATES 2x8 AT 16" O.C. CEILING JOISTS. CONNECT TO RAFTERS W/ (10) 10d NAILS.
 - 'AJ-1' INDICATES 2x8 AT 16" O.C. ATTIC JOISTS. CONNECT TO RAFTERS W/ (10) 10d NAILS.
 - 'R-2' INDICATES 2x8 RAFTERS AT 16" O.C. CONNECT TO LEDGER W/ (6) 10d TOE NAILS. CONNECT TO WALL TOP PLATE WITH SIMPSON H 2.5A HURRICANE TIE, TYPICAL.
 - 'H-1' INDICATES (2) 2x6 W/ (1) JACK STUD AND (1) KING STUD, EACH END.
 - 'H-2' INDICATES (2) 2x8 W/ (2) JACK STUDS AND (2) KING STUDS, EACH END.
 - 'H-3' INDICATES (2) 1 3/4" x 7 1/4" LVL W/ (3) JACK STUDS AND (3) KING STUDS, EACH END.
 - MINIMUM POST SIZE SHALL BE (2) 2x6 OR (3) 2x4 UNLESS OTHERWISE NOTED ON PLANS.
 - AT FLUSH BEAM CONNECTIONS, CONNECT CJ-1 AND R-1 (ROOF PLAN) TO BEAM W/ SIMPSON LUS28-2 FACE MOUNT HANGER. PROVIDE BLOCKING AS REQUIRED.

BRACED WALL PANEL CONSTRUCTION NOTES:
ALL EXTERIOR WALLS SHALL BE CONSTRUCTED IN CONFORMANCE W/ TYPE "CS-WSP" CONSTRUCTION PER SECTION R602.10 OF THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE. PROVIDE 2x BLOCKING ALONG ALL SHEATHING PANEL HORIZONTAL EDGES AND CONNECT SHEATHING TO STUDS / BLOCKING W/ 8d NAILS AT 6" O.C.

TYPICAL ASPHALT ROOF
NEW ASPHALT ROOFING TO BE "GAF TIMBERLINE" LIFETIME HIGH DEFINITION SHINGLES, COLOR TO BE "SLATE" (SUBMIT SAMPLE FOR APPROVAL) OVER 30 # BUILDING FELT OVER 1/2" CDX PLYWOOD SHEATHING OVER ROOF RAFTERS (SEE PLAN). INSTALL ICE & WATER SHIELD FROM THE EAVES EDGE TO A POINT AT LEAST 2'-0" INSIDE THE EXTERIOR WALL LINE AND AT ALL VALLEYS, HIPS, & AS INDICATED ON ROOF PLAN AND AS REQUIRED TO MEET CODE. WEAVE IN ALL VALLEYS TO CONCEAL FLASHING.

TYPICAL EXTERIOR WALL - CEDAR SIDING
NEW "MAIBEC" CEDAR SHINGLES (SEE SPECS) OVER "CEDAR BREATHER" (BENJAMIN OBDYKE) OVER 1/2" RIGID INSULATION BOARD (R-3) OVER #30 BUILDING FELT OVER 1/2" CDX PLYWOOD SHEATHING OVER 2" X 6" STUD WALL. FILL WITH R-21 BATT INSULATION AND FINISH WITH 4 MIL POLY VAPOR BARRIER & 5/8" GYPSUM BOARD. GYPSUM BOARD TO BE SCREWED, TAPED, SPACKLED (3 COATS), & SANDED, READY FOR PAINT.

TYPICAL METAL ROOF
STANDING SEAM ALUMINUM (ASTM B209) ROOF (COLOR TO BE SELECTED) OVER ICE & WATER SHIELD (ENTIRE ROOF) OVER 30# BUILDING FELT OVER 1/2" CDX PLYWOOD SHEATHING OVER ROOF RAFTERS (SEE PLAN).

TYPICAL FLAT ROOF
INSTALL .090 FIRESTONE EPDM SELF-ADHERED ROOFING MEMBRANE OVER 1/2" FIRESTONE ISOQUARD COVER BOARD OVER TAPERED INSULATION PANELS (1/4" / FT MIN), OR APPROVED EQUAL, OVER 5/8" CDX PLYWOOD SHEATHING OVER ROOF RAFTERS. SEE STRUCTURAL DRAWINGS. ROOFING TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

TYPICAL GUTTER
6" HALF ROUND WHITE ALUMINUM GUTTERS WITH 4" LEADERS TO DRAIN TO NEW DRYWELL SYSTEM (SEE SITE PLAN FOR SIZE & LOCATION). ALL UNDERGROUND PIPING TO BE SCHEDULE 40 PVC SDR 35.

ALL MECHANICAL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, BOILER, FURNACE, HOT WATER HEATER, AIR HANDLERS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS TO COMPLY WITH CODE.

- LEGEND**
- ⊙ CARBON MONOXIDE DETECTOR
 - ⊙ SMOKE DETECTOR

1 PROPOSED SECOND FLOOR PLAN
A-102
1/4" = 1'-0"
PROPOSED SECOND FLOOR AREA= 2,214 SQ.FT

SEAL

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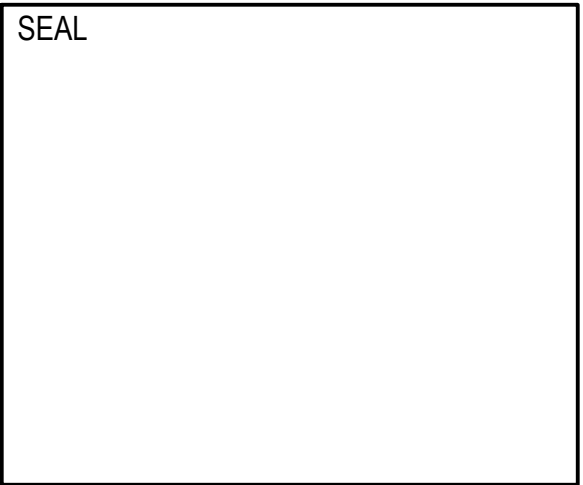
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PROPOSED SECOND FLOOR PLAN

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A-102

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A-103
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1 SOUTH ELEVATION
A-200
1/4" = 1'-0"



2 EAST ELEVATION
A-200
1/4" = 1'-0"

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**PROPOSED
EXTERIOR
ELEVATIONS**

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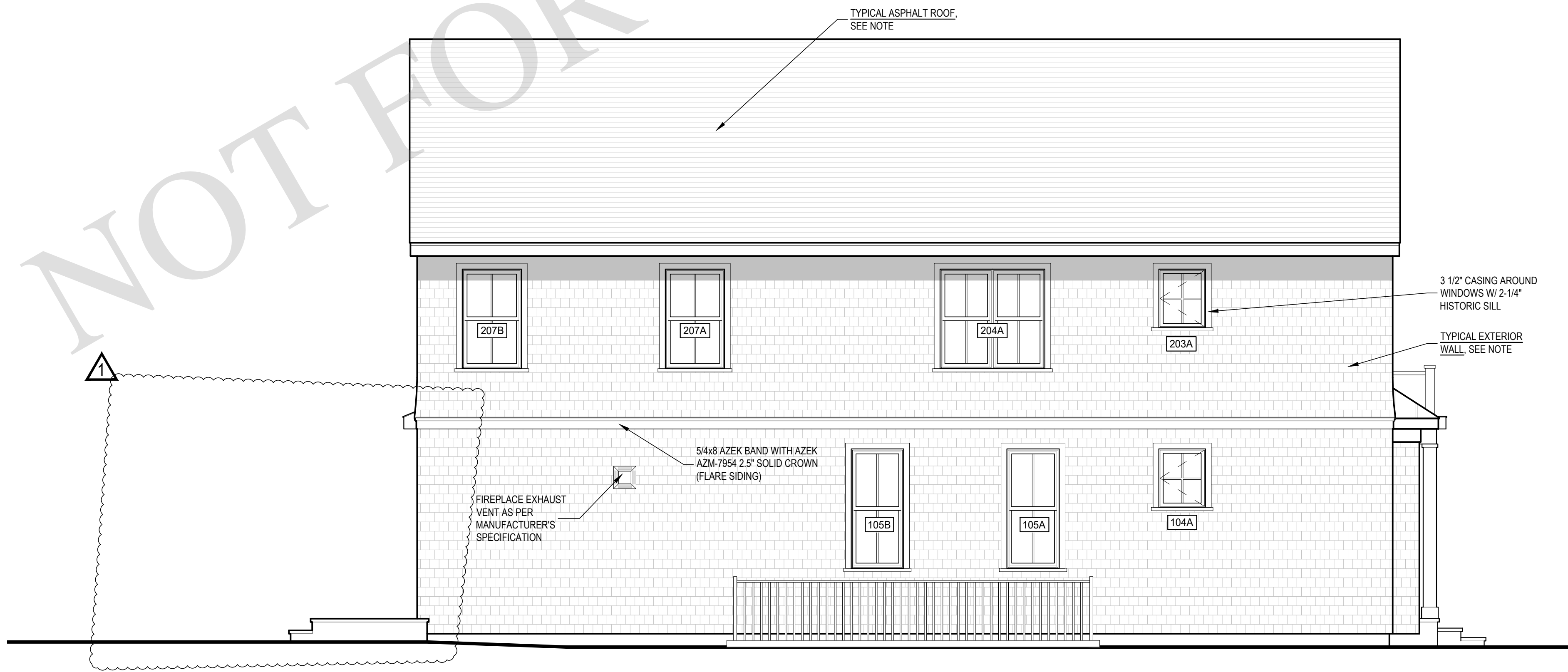
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1 NORTH ELEVATION
A-201
1/4" = 1'-0"



2 WESTELEVATION
A-201
1/4" = 1'-0"

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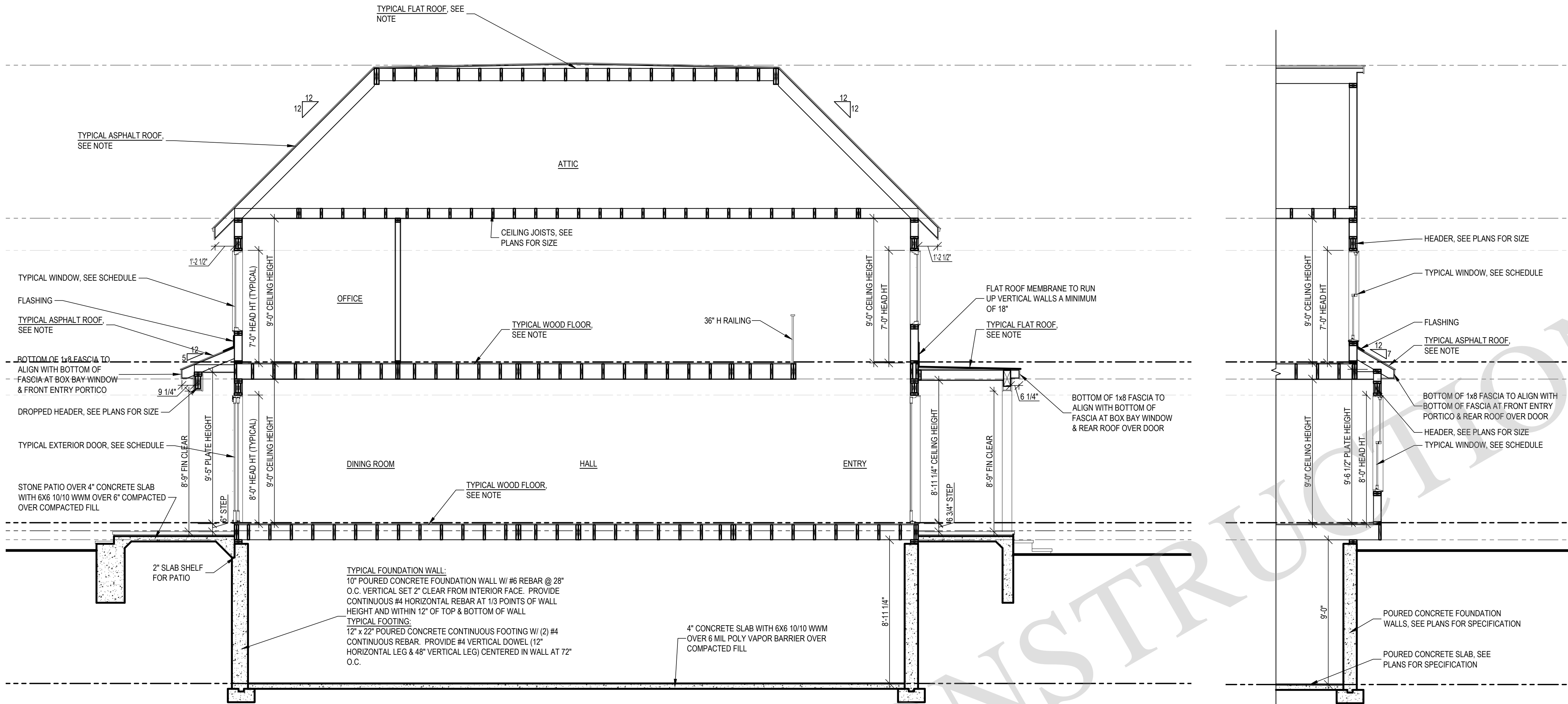
**PROPOSED
EXTERIOR
ELEVATIONS**

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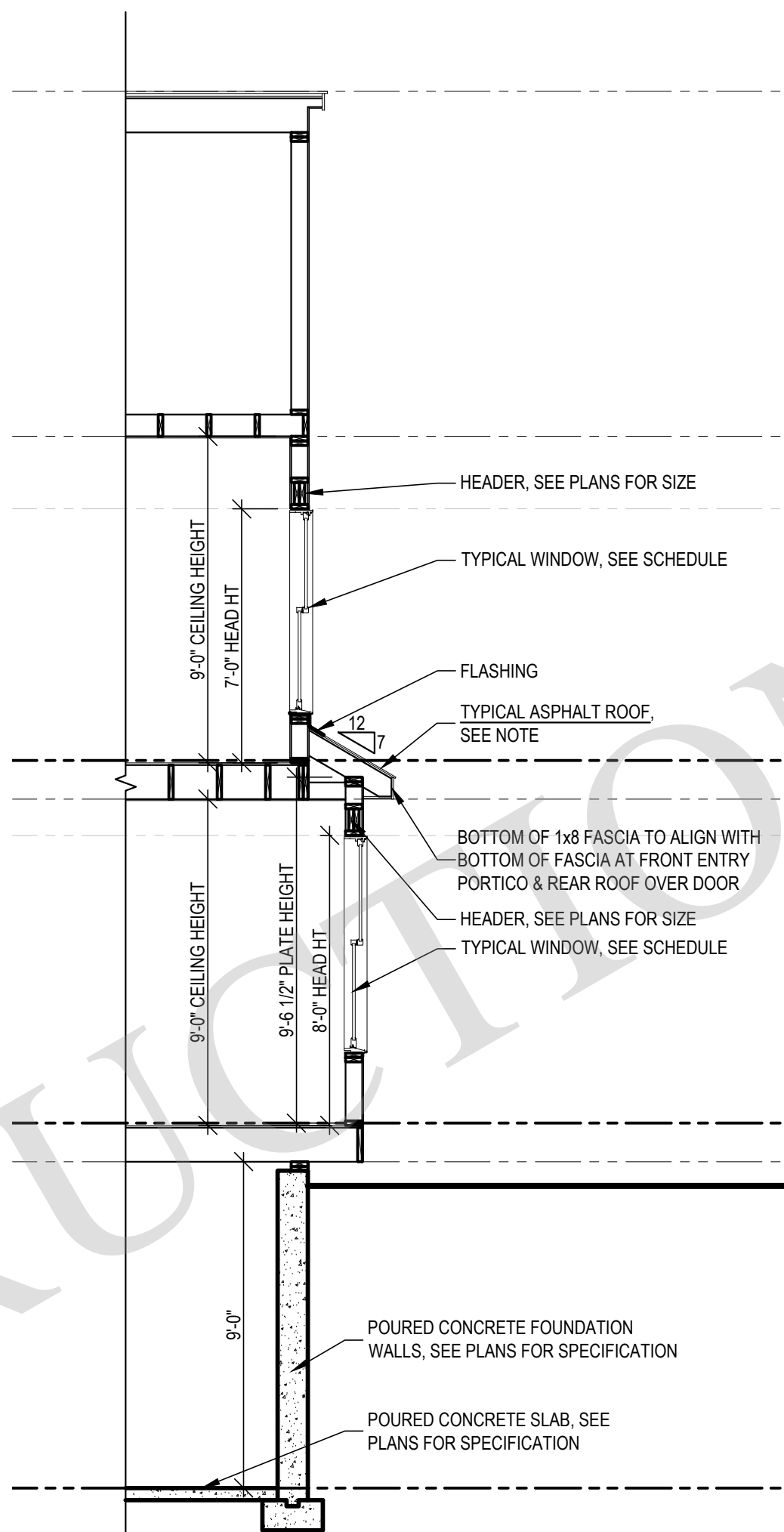
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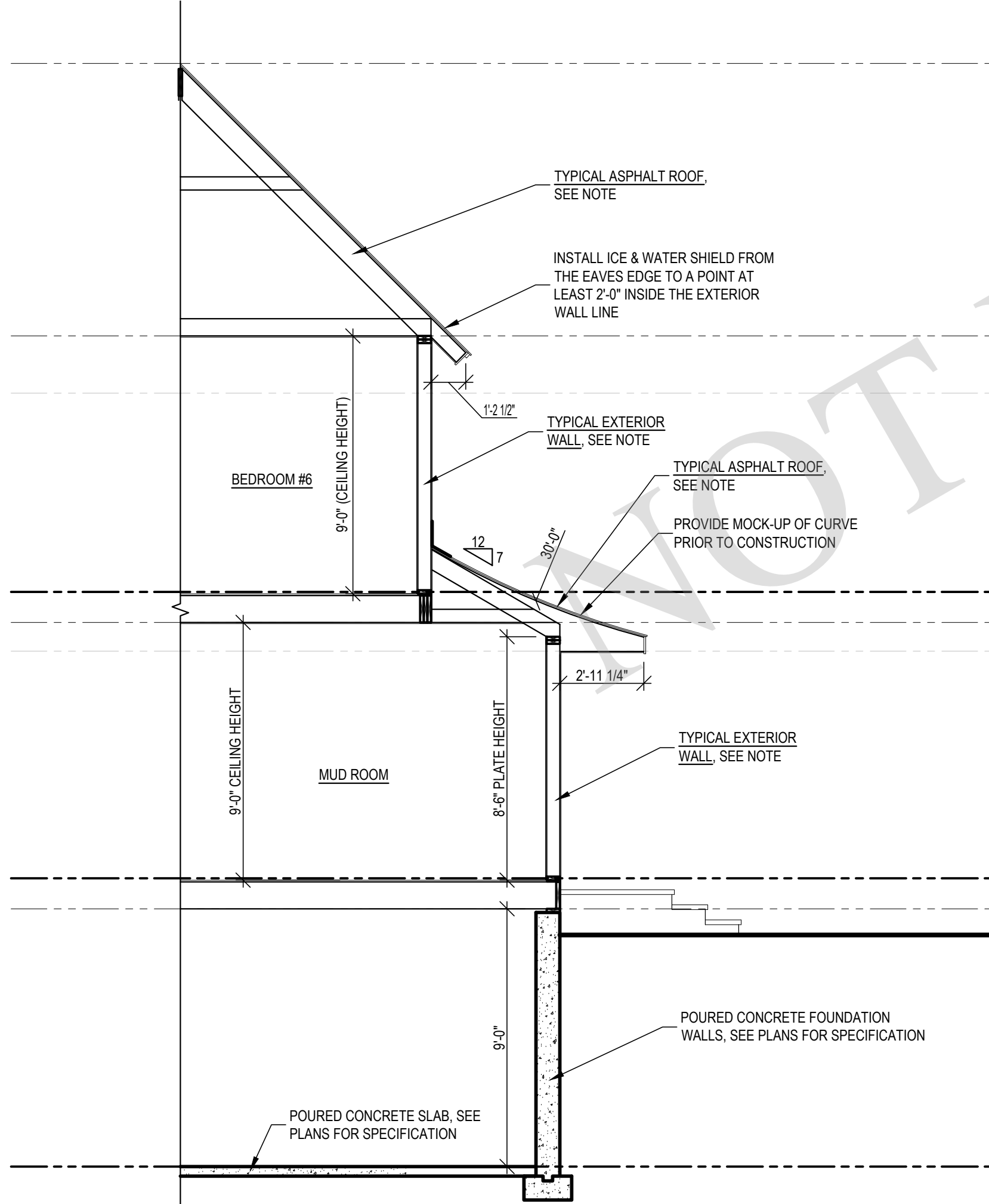
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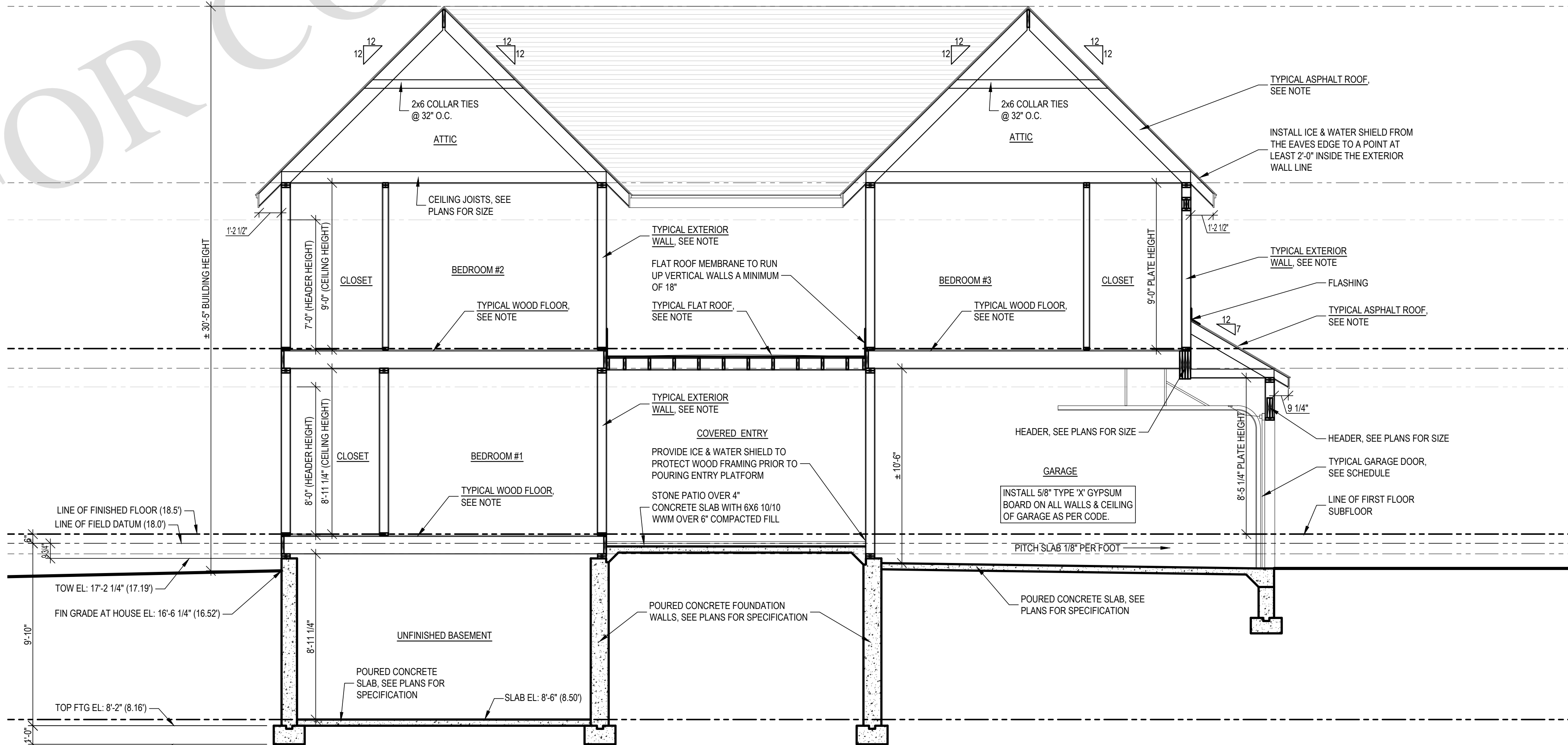
1 BUILDING CROSS SECTION
A-300 1/4" = 1'-0"



4 BUILDING CROSS SECTION
A-300 1/4" = 1'-0"



2 GARAGE CROSS SECTION
A-300 1/4" = 1'-0"



3 BUILDING CROSS SECTION
A-300 1/4" = 1'-0"

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**PROPOSED
CROSS-SECTIONS**

SCALE: AS NOTED

A-300

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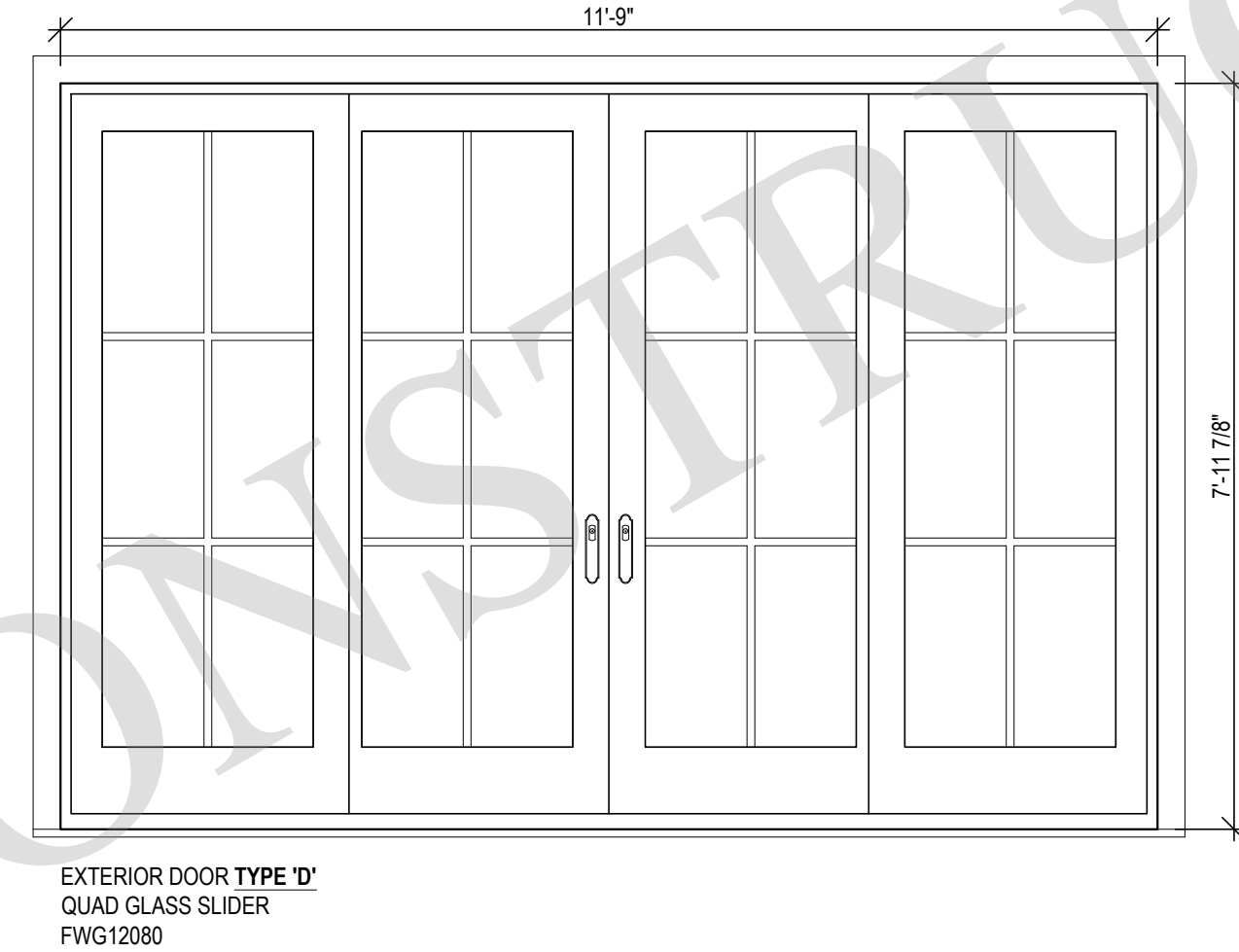
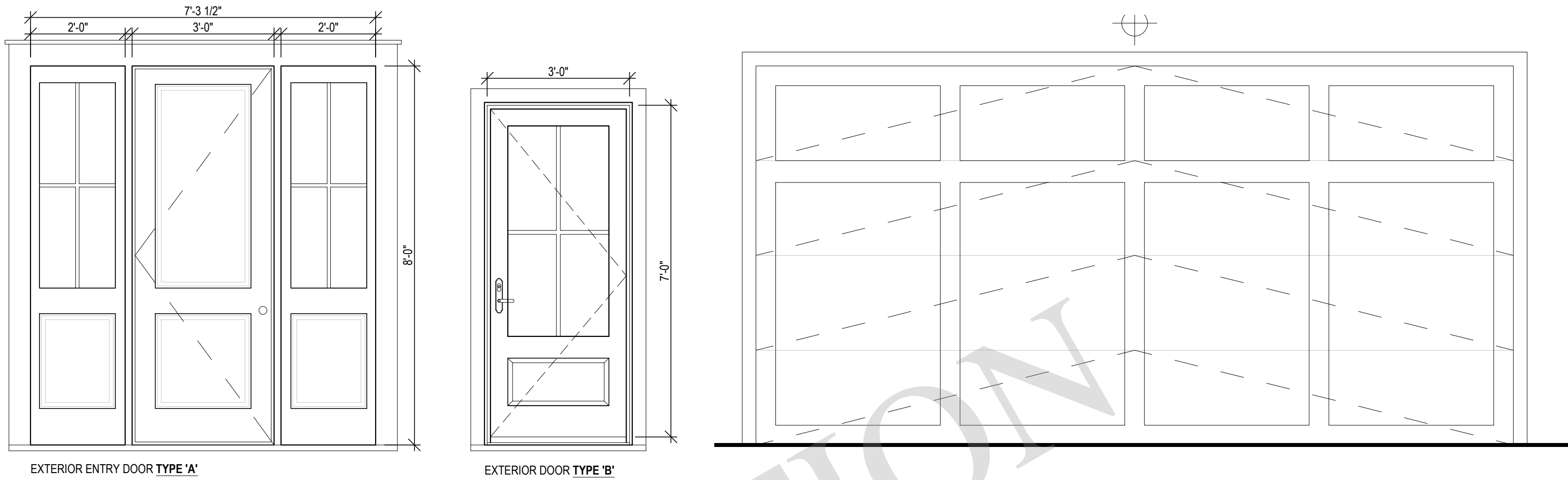
WINDOW & EXTERIOR DOOR SCHEDULE - LOWER LEVEL							6/23/2023
UNIT	LOCATION	TYPE	SIZE (APPROXIMATE)	MANUFACTURER	STYLE	MODEL #	NOTES
001A	UNFINISHED BASEMENT	B	3'-0" x 7'-0"	TBD	EXTERIOR DOOR	TBD	

WINDOW & EXTERIOR DOOR SCHEDULE - FIRST FLOOR							6/23/2023
UNIT	LOCATION	TYPE	SIZE (APPROXIMATE)	MANUFACTURER	STYLE	MODEL #	NOTES
101A	ENTRY	A	7'-3" x 8'-0"	TBD	EXTERIOR DOOR	TBD	36" DOOR & (2) 24" SIDE LIGHTS
102A	BEDROOM #1	F	5'-7" x 6'-0"	ANDERSEN	(2) DOUBLE HUNG	TW228510	3" SUPPORT MULLION
104A	BATH #1	K	2'-7" x 3'-0"	ANDERSEN	AWNING	AXW281	TEMPERED GLAZING
105A	STUDY ROOM	E	3'-0" x 6'-0"	ANDERSEN	DOUBLE-HUNG	TW210510	
105B	STUDY ROOM	E	3'-0" x 6'-0"	ANDERSEN	DOUBLE-HUNG	TW210510	
106A	LIVING ROOM	D	11'-9" x 8'-0"	ANDERSEN	SLIDING GLASS DOORS	FWG12080	QUAD SLIDER
108A	LIVING ROOM	D	11'-9" x 8'-0"	ANDERSEN	SLIDING GLASS DOORS	FWG12080	QUAD SLIDER
109A	KITCHEN	O	9'-0" x 4'-5"	ANDERSEN	(3) CASEMENTS	CXW145	
109B	KITCHEN	M	3'-0" x 4'-5"	ANDERSEN	CASEMENT	CXW145	
109C	KITCHEN	M	3'-0" x 4'-5"	ANDERSEN	CASEMENT	CXW145	
110A	MUD ROOM	B	3'-0" x 7'-0"	TBD	EXTERIOR DOOR	TBD	
116A	GARAGE	C	16'-0" x 8'-0"	TBD	OVERHEAD GARAGE DOOR	TBD	
116B	GARAGE	E	3'-0" x 6'-0"	ANDERSEN	DOUBLE-HUNG	TW210510	
116C	GARAGE	E	3'-0" x 6'-0"	ANDERSEN	DOUBLE-HUNG	TW210510	

WINDOW & EXTERIOR DOOR SCHEDULE - SECOND FLOOR							6/23/2023
UNIT	LOCATION	TYPE	SIZE (APPROXIMATE)	MANUFACTURER	STYLE	MODEL #	NOTES
201A	BEDROOM #3	N	5'-7" x 5'-5"	ANDERSEN	(2) DOUBLE HUNG	TW2852	3" SUPPORT MULLION
203A	BATH #3	K	2'-7" x 3'-0"	ANDERSEN	AWNING	AXW281	TEMPERED GLAZING
204A	PRIMARY BATH #4	H	6'-0" x 5'-1"	ANDERSEN	(2) DOUBLE HUNG	TW210410	3" SUPPORT MULLION / TEMPERED GLAZING
207A	PRIMARY BEDROOM #4	G	3'-0" x 5'-0"	ANDERSEN	DOUBLE-HUNG	TW210410	
207B	PRIMARY BEDROOM #4	G	3'-0" x 5'-0"	ANDERSEN	DOUBLE-HUNG	TW210410	
207C	PRIMARY BEDROOM #4	I	8'-11" x 5'-1"	ANDERSEN	(3) DOUBLE-HUNG	TW210410	3" SUPPORT MULLION
208A	OFFICE	I	8'-11" x 5'-1"	ANDERSEN	(3) DOUBLE-HUNG	TW210410	3" SUPPORT MULLION
209A	BEDROOM #5	G	3'-0" x 5'-0"	ANDERSEN	DOUBLE-HUNG	TW210410	
209B	BEDROOM #5	G	3'-0" x 5'-0"	ANDERSEN	DOUBLE-HUNG	TW210410	
209C	BEDROOM #5	H	6'-0" x 5'-1"	ANDERSEN	(2) DOUBLE HUNG	TW210410	3" SUPPORT MULLION
210A	BATH #5	G	3'-0" x 5'-0"	ANDERSEN	DOUBLE-HUNG	TW210410	TEMPERED GLAZING
213A	BEDROOM #6	H	6'-0" x 5'-1"	ANDERSEN	(2) DOUBLE HUNG	TW210410	3" SUPPORT MULLION
217A	BATH #2	K	2'-7" x 3'-0"	ANDERSEN	AWNING	AXW281	TEMPERED GLAZING
216A	BEDROOM #2	N	5'-7" x 5'-5"	ANDERSEN	(2) DOUBLE HUNG	TW2852	3" SUPPORT MULLION
219A	UPPER HALL / LANDING	J	9'-0" x 4'-5"	ANDERSEN	CASEMENT	CXW145	3" SUPPORT MULLION

WINDOW & EXTERIOR DOOR SCHEDULE - ROOF							6/23/2023
UNIT	LOCATION	TYPE	SIZE (APPROXIMATE)	MANUFACTURER	STYLE	MODEL #	NOTES
301A	ATTIC	L	2'-0" x 2'-4"	ANDERSEN	CASEMENT	C125	FIXED
301B	ATTIC	L	2'-0" x 2'-4"	ANDERSEN	CASEMENT	C125	FIXED
301C	ATTIC	L	2'-0" x 2'-4"	ANDERSEN	CASEMENT	C125	FIXED
301D	ATTIC	L	2'-0" x 2'-4"	ANDERSEN	CASEMENT	C125	FIXED

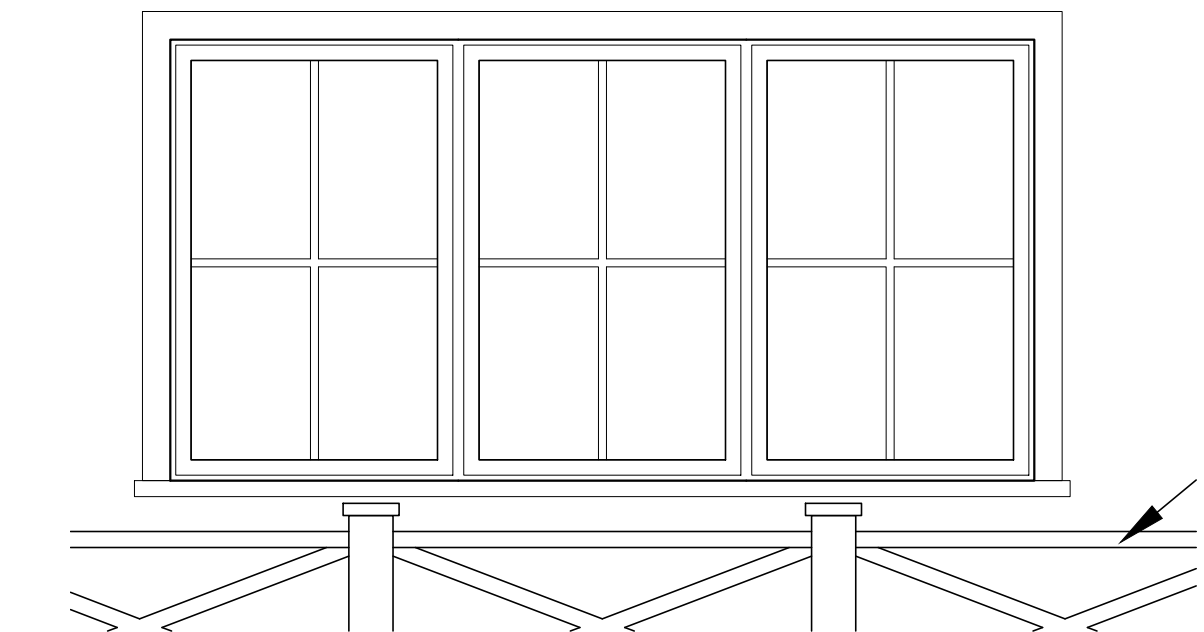
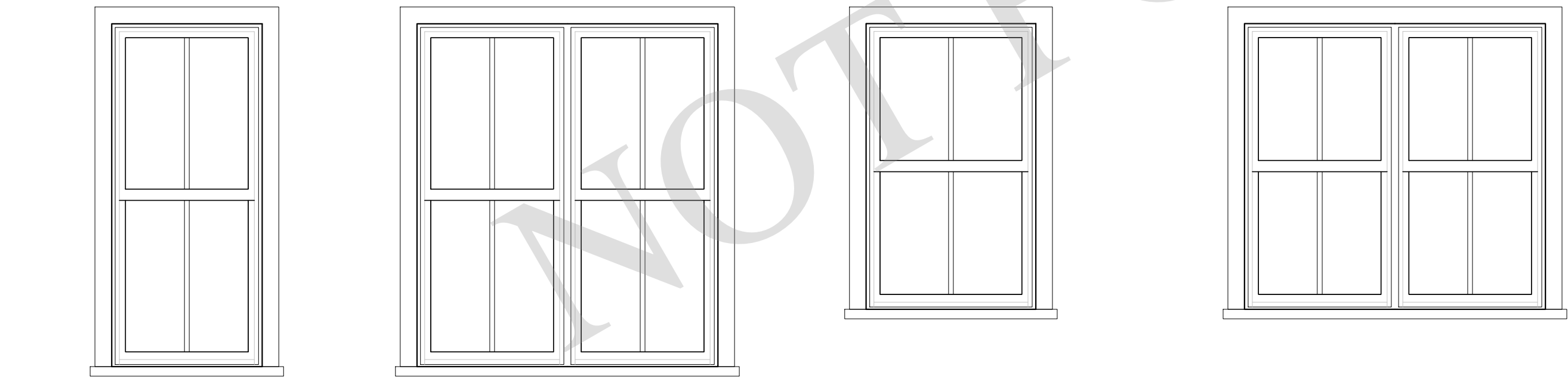
EXTERIOR DOOR & WINDOW GENERAL NOTES:						
1 WINDOWS TO BE "ANDERSEN" " 400 SERIES". ALL GLAZING TO BE HIGH-PERFORMANCE LOW-E4. FULL DIVIDED LITE WITH SPACER TOP/BOTTOM. 7/8" MUNTIN BAR DIVISIONS AS PER ELEVATIONS						
2 DOORS TO BE "ANDERSEN" " 400 SERIES". ALL GLAZING TO BE HIGH-PERFORMANCE LOW-E4. FULL DIVIDED LITE WITH SPACER TOP/BOTTOM. 7/8" MUNTIN BAR DIVISIONS AS PER ELEVATIONS						
3 ALL WINDOWS TO HAVE WHITE HARDWARE & DOORS TO HAVE BRIGHT BRASS HARDWARE						
4 ALL CLAD DOORS AND WINDOWS TO BE WHITE. ALL SCREENS IN WINDOWS TO "TRUSCENE" (WHITE) & DOORS TO RECEIVE STANDARD MESH (WHITE). PRICE TO INCLUDE SCREENS FOR ALL FRENCH DOORS						
5 HEIGHTS AND WIDTHS LISTED ABOVE ARE APPROXIMATE AND ARE NOT TO BE USED FOR FRAMING ROUGH OPENINGS. CONFIRM EXACT OPENING SIZES WITH WINDOW ORDER / SHOP DRAWINGS PRIOR TO FRAME						
6 NO FINGER JOINED MATERIAL TO BE USED ON ANY PART OF WINDOW OR DOORS INCLUDING BUT NOT LIMITED TO, SECONDARY SURFACES, SUB SILL, EXTERIOR CASINGS, BLIND STOPS, ETC.						



1

A-600

EXTERIOR DOOR & WINDOW SCHEDULE



3

A-600

EXTERIOR WINDOW TYPES

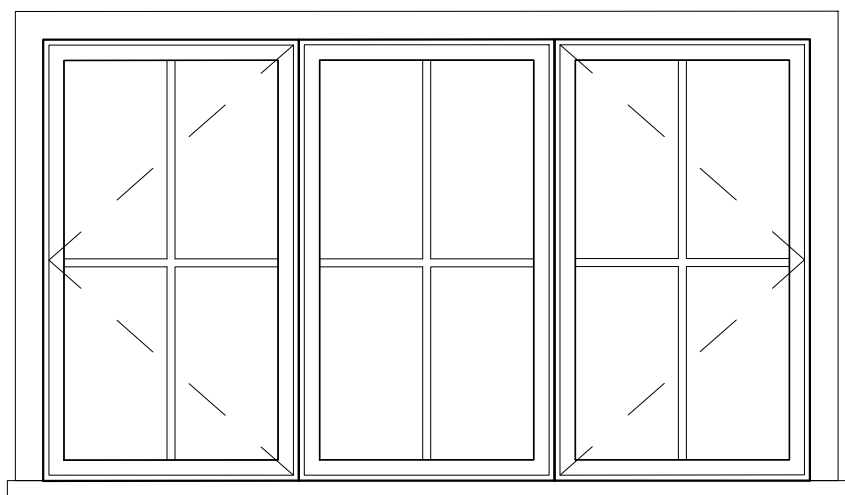
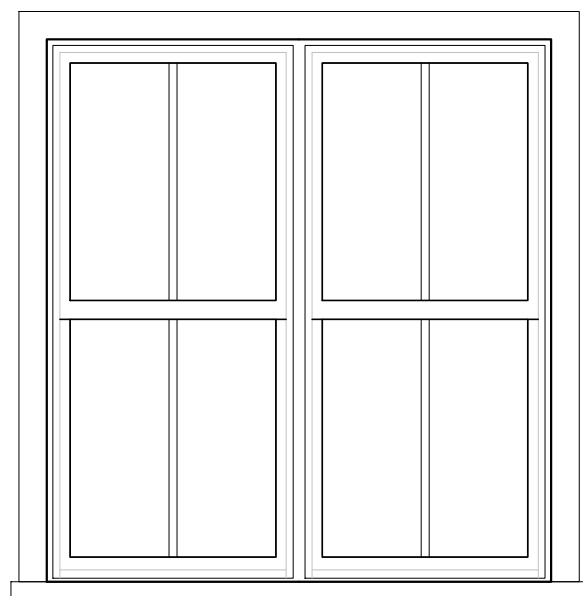
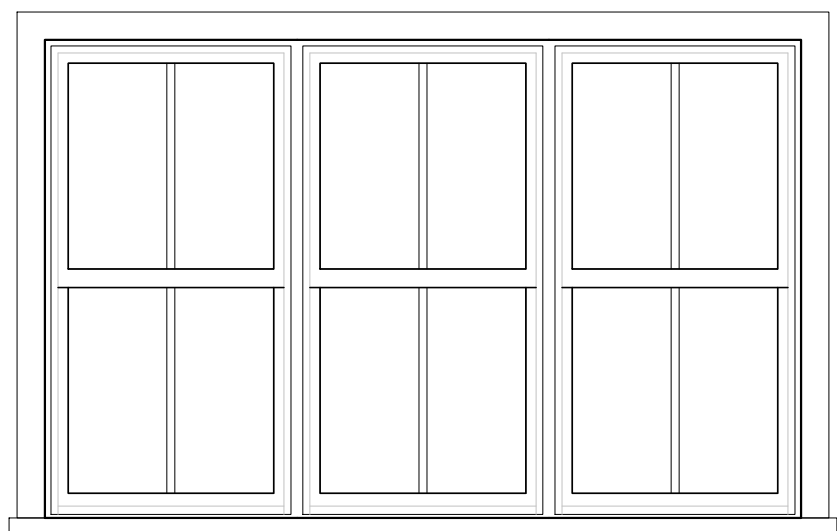
1/2"=1'-0"

2

A-600

EXTERIOR DOOR TYPES

1/2"=1'-0"



NOTE:
CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW OF ALL DOORS & WINDOWS PRIOR TO ORDERING.

SEAL

ARCHITECT
JOSEPH PAGAC
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PROJECT NO.: 2211
DATE: 10/4/22
DRAWN BY: CD
CHECKED BY: JP
DRAWING TITLE

PROPOSED
WINDOW TYPES &
SCHEDULE

SCALE: AS NOTED

A-600

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