

FILE NAME C:\Users\JPDS\OneDrive\JPACD Share\2209 LYSIAK\Drawings\2209-Code Compliance Sheets.dwg SAVED ON 1/17/2025 11:18 AM PLOTTED ON 2/17/2025 3:21 PM PLOTTED BY JPDS



FRONT ELEVATION



REAR ELEVATION

DRAWING INDEX		
JOSEPH PAGAC ARCHITECT		ISSUE DATE
Sheet No.	Sheet Title	
A-000	COVER SHEET	2/17/2025
A-001	GENERAL CODE COMPLIANCE	7/24/2024
A-001B	GENERAL CODE COMPLIANCE - BASEMENT	7/24/2024
A-002	GENERAL NOTES & BID INSTRUCTIONS	7/24/2024
A-003	ENERGY CODE COMPLIANCE	7/24/2024
A-004	PLUMBING RISER DIAGRAM & NOTES	7/24/2024
SITE & ZONING		
A-010	PROPOSED SITE PLAN	9/5/2024
A-011	ENLARGED SITE PLAN	9/5/2024
FLOOR PLANS		
A-100a	PROPOSED FOUNDATION PLAN	9/5/2024
A-100b	PROPOSED BASEMENT PLAN	2/17/2025
A-101	PROPOSED FIRST FLOOR PLAN	2/17/2025
A-102	PROPOSED SECOND FLOOR PLAN	2/17/2025
A-103	PROPOSED ROOF PLAN	7/24/2024
A-110	PROPOSED FINISHED FLOOR PATTERN PLAN - BASEMENT	2/17/2025
A-111	PROPOSED FINISHED FLOOR PATTERN PLAN - FIRST FLOOR	2/17/2025
A-112	PROPOSED FINISHED FLOOR PATTERN PLAN - SECOND FLOOR	2/17/2025
A-120	PROPOSED REFLECTED CEILING PLAN - BASEMENT	9/5/2024
A-121	PROPOSED REFLECTED CEILING PLAN - FIRST FLOOR	9/5/2024
A-122	PROPOSED REFLECTED CEILING PLAN - SECOND FLOOR	2/17/2025
EXTERIOR ELEVATIONS		
A-200	PROPOSED EXTERIOR ELEVATION	9/5/2024
A-201	PROPOSED EXTERIOR ELEVATION	9/5/2024
A-202	PROPOSED EXTERIOR ELEVATIONS FOR BBQ, PERGOLA, BENCH & TV WALL	9/5/2024
A-203	PROPOSED EXTERIOR FENCE & GATE ELEVATION & DETAILS	NOT ISSUED
CROSS-SECTIONS		
A-300	PROPOSED CROSS-SECTIONS	7/24/2024
INTERIOR ELEVATIONS		
A-400	PROPOSED INTERIOR ELEVATION - BATH #2 & 3	2/17/2025
A-401	PROPOSED INTERIOR ELEVATION - MASTER BATH & W/C	2/17/2025
A-402	PROPOSED INTERIOR ELEVATION - KITCHEN & LIVING ROOM	2/17/2025
A-403	PROPOSED INTERIOR ELEVATION - DINING ROOM & BATH #5	2/17/2025
A-404	PROPOSED INTERIOR ELEVATION - OFFICE & BATH #1	2/17/2025
A-405	PROPOSED INTERIOR ELEVATION - VESTIBULE, MUD & POWDER ROOM	2/17/2025
A-406	PROPOSED INTERIOR ELEVATION - BEDROOM #1 & 2	2/17/2025
A-407	PROPOSED INTERIOR ELEVATION - BEDROOM #3	2/17/2025
A-408	PROPOSED INTERIOR ELEVATION - PLAYROOM	2/17/2025
A-409	PROPOSED INTERIOR ELEVATION - BEDROOM #6 & LAUNDRY ROOM	2/17/2025
A-410	PROPOSED INTERIOR ELEVATION - BUNK ROOM	2/17/2025
A-411	PROPOSED INTERIOR ELEVATION - BEDROOM #4	2/17/2025
A-412	PROPOSED INTERIOR ELEVATION - ENTRY	2/17/2025
A-413	PROPOSED INTERIOR ELEVATION & SECTION - STAIRS	2/17/2025
A-414	PROPOSED INTERIOR ELEVATION & SECTION - STAIRS	2/17/2025
A-415	PROPOSED INTERIOR ELEVATION - CLOSETS	10/28/2024
DETAILS		
A-500	EXTERIOR ROOF TRIM DETAILS	7/24/2024
A-501	EXTERIOR DETAILS, FIREPLACE DETAIL	7/24/2024
A-502	EXTERIOR BBQ DETAILS, EXTERIOR BASEMENT STAIR DETAILS	2/17/2025
A-503	EXTERIOR BENCH DETAILS	7/24/2024
A-504	EXTERIOR DETAILS, GARBAGE BOX DETAIL	7/24/2024
A-505	SHADE & SCREEN DETAILS	9/5/2024
FINISHES & SCHEDULES		
A-600	INTERIOR DOOR SCHEDULE	2/17/2025
A-601	ALLOWANCE SCHEDULE	7/24/2024
A-602	EXTERIOR DOOR & WINDOW SCHEDULE	2/17/2025
ELECTRICAL PLANS		
E-100	PROPOSED BASEMENT ELECTRICAL PLAN	2/17/2025
E-101	PROPOSED FIRST FLOOR ELECTRICAL PLAN	9/5/2024
E-102	PROPOSED SECOND FLOOR ELECTRICAL PLAN	9/5/2024
E-103	PROPOSED GARAGE & POOL HOUSE ELECTRICAL PLANS	2/17/2025
OTHER		
G-100	EXISTING & PROPOSED GARAGE PLANS & ELEVATION	7/29/2024
G-110	GARAGE PLANS - FLOOR FINISH, FURNITURE & REFLECTED CEILING PLAN	7/24/2024
G-400	PROPOSED GARAGE INTERIOR ELEVATIONS	2/17/2025
G-500	GARAGE DETAILS	7/24/2024
PH-100	PROPOSED POOL HOUSE PLANS, ELEVATIONS & SECTION	2/17/2025
PH-110	POOL HOUSE PLANS - FLOOR FINISH & REFLECTED CEILING PLAN	9/23/2024
PH-400	PROPOSED POOL HOUSE INTERIOR ELEVATIONS	2/17/2025
PH-500	POOL HOUSE DETAILS	7/24/2024
FURNITURE		
F-100	PROPOSED BASEMENT, POOL HOUSE, & GARAGE FURNITURE PLAN	2/17/2025
F-101	PROPOSED FIRST & SECOND FLOOR FURNITURE PLAN	2/17/2025

SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

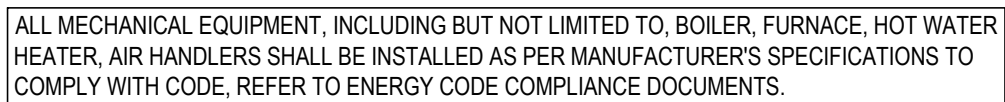
COVER SHEET

SCALE: AS NOTED

A-000

© JOSEPH PAGAC ARCHITECT PC

HVAC ZONING	
AHU 1 - BASEMENT	UNIT LOCATED IN BASEMENT REGISTERS IN WALLS / CEILING (LINEAR)
AHU 2 - FIRST FLOOR	UNIT LOCATED IN BASEMENT REGISTERS IN FLOOR (REGGIO FLUSH WOOD)
AHU 3 - SECOND FLOOR	UNIT LOCATED IN ATTIC REGISTERS IN WALLS / CEILING (LINEAR)
(PROVIDE \$7.50 ALLOWANCE FOR DECORATIVE HVAC GRILLES)	



 CARBON MONOXIDE DETECTOR
 SMOKE DETECTOR

© JOSEPH PAGAC ARCHITECT PC

TYPICAL EXTERIOR WALL - CEDAR SIDING
NEW ALASKAN YELLOW CEDAR SHINGLES OVER 'BENJAMIN OBDYKE SLICKER MAX' RAINSCREEN OVER 'BENJAMIN OBDYKE FLAT WRAP HP' HOUSEWRAP OVER 5/8" CDX PLYWOOD SHEATHING OVER 2" X 6" STUD WALL. FILL WITH INSULATION AS PER ENERGY DOCUMENTS AND FINISH WITH 4 MIL POLY VAPOR BARRIER & 5/8" GYPSUM BOARD. GYPSUM BOARD TO BE SCREWED, TAPED, SPACKLED (3 COATS), & SANDED, READY FOR PAINT.

TYPICAL EXTERIOR WALL - VERTICAL CEDAR SIDING
NEW ALASKAN YELLOW CEDAR SHINGLES (V-JOINT JOINT) TREATED WITH 1 COAT OF PRE-WEATHERING STAIN OVER 'BENJAMIN OBDYKE SLICKER MAX' RAINSCREEN OVER 'BENJAMIN OBDYKE FLAT WRAP HP' HOUSEWRAP OVER 5/8" CDX PLYWOOD SHEATHING OVER 2" X 6" STUD WALL. FILL WITH INSULATION AS PER ENERGY DOCUMENTS AND FINISH WITH 4 MIL POLY VAPOR BARRIER & 5/8" GYPSUM BOARD. GYPSUM BOARD TO BE SCREWED, TAPED, SPACKLED (3 COATS), & SANDED, READY FOR PAINT.

TYPICAL DECK
NEW 5/4x4 IPE DECKING INSTALLED WITH CONCEALED FASTENERS (5/32" SPACING, IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS) OVER A.C.Q. DECK JOISTS AS INDICATED ON STRUCTURAL PLANS.

TYPICAL EXTERIOR COLUMN - 8" X 8" SQUARE, OR 10" X 10" SQUARE
8"x8" (OR 10"x10") WRAPPED SQUARE COLUMN TO BE 6x6 PRESSURE TREATED POST WRAPPED IN 3/4" IPE TRIM WITH AIR SPACE. SEE DETAIL. HEADER ABOVE TO BE PACKED OUT TO ALIGN WITH SHAFT OF COLUMN, BOTH SIDES. SEE PLANS FOR FINISHED SIZE OF COLUMNS.

TYPICAL WOOD FLOOR
NEW WOOD FLOOR AS PER FLOOR FINISH PLAN INSTALLED OVER RED ROSEN PAPER OVER 3/4" ADVANTECH PLYWOOD SHEATHING (GLUED & SCREWED) OVER FLOOR JOIST AS SPECIFIED ON STRUCTURAL PLANS. FLOOR BOARD LENGTHS TO BE 2'-10". FLOOR TO BE SCRAPED, SANDED, STAINED (2 COATS), SEALED, AND RECEIVE 3 TOP COATS, PER APPROVED SAMPLE.

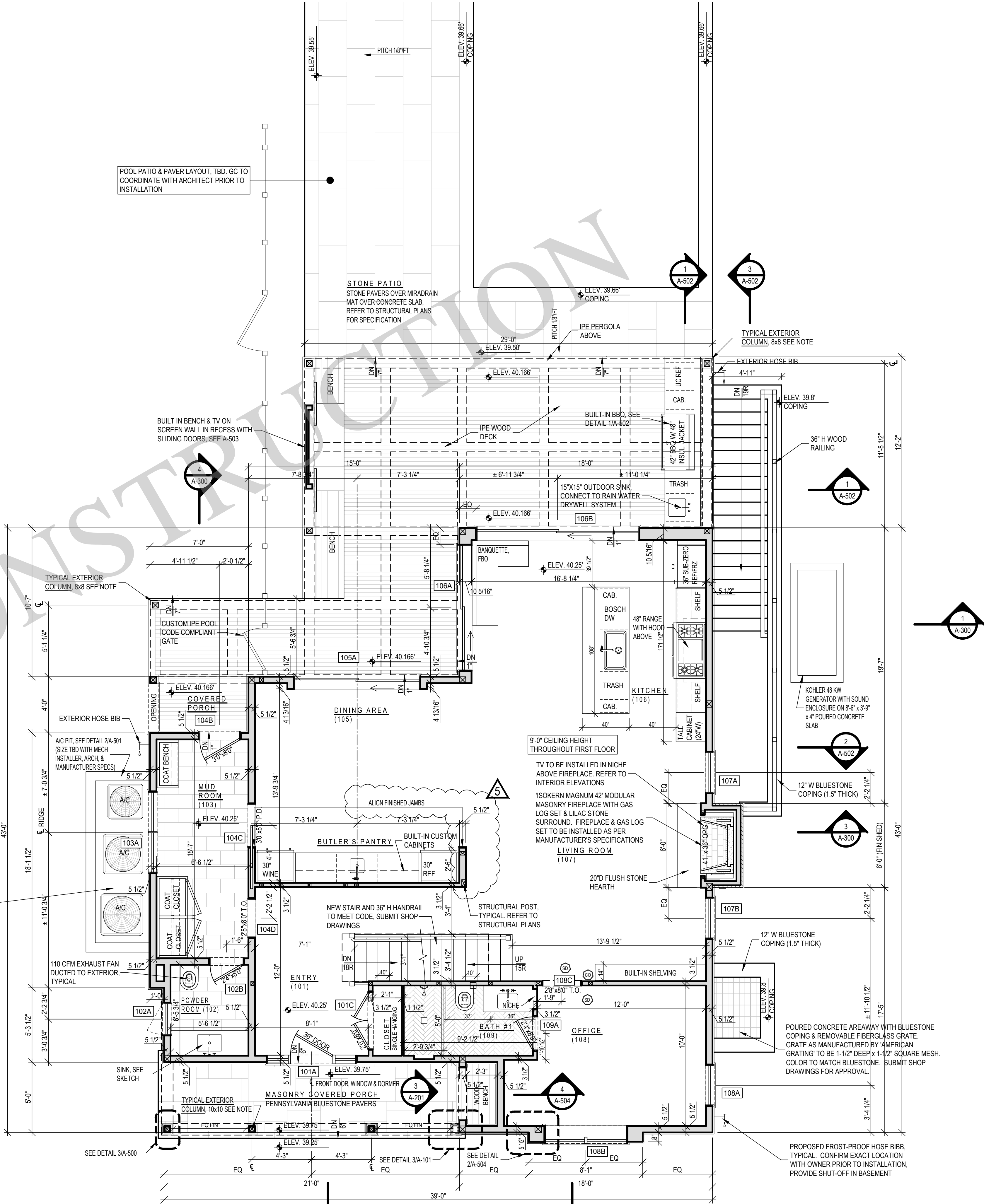
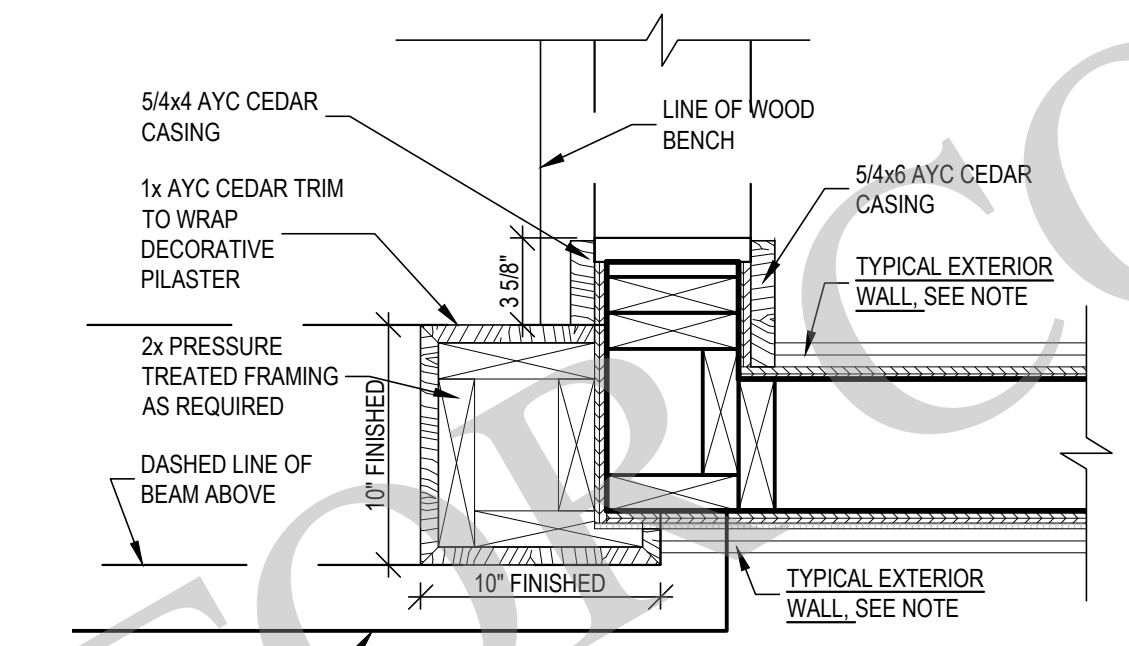
TYPICAL TILE FLOOR
TILE FLOOR AS PER FLOOR FINISH PLAN OVER 'DITRA' UNCOUPLING MAT MANUFACTURED BY 'SCHLUTER SYSTEMS' (INSTALL AS PER MANUFACTURER'S SPECIFICATIONS) OVER #30 BUILDING PAPER OVER 3/4" PLYWOOD SHEATHING (GLUED & SCREWED) OVER FLOOR JOIST AS SPECIFIED ON PLANS.

ALL INTERIOR WALLS & CEILINGS TO RECEIVE SOUND ATTENUATION INSULATION. SOUND ATTENUATION INSULATION TO BE 'ROXUL - SAFE 'N' SOUND', INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

NYS CODE SECTION R326.4.2.8
DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM THAT PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL 2017. THE AUDIBLE ALARM SHALL ACTIVATE WITHIN 7 SECONDS AND SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS AFTER THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED AND BE CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES. THE ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS. THE ALARM SYSTEM SHALL BE EQUIPPED WITH A MANUAL MEANS, SUCH AS A TOUCH-PAD OR SWITCH, TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. DEACTIVATION SHALL LAST FOR NOT MORE THAN 15 SECONDS. ANY DEACTIVATION SWITCHES SHALL BE LOCATED AT LEAST 5' ABOVE THE THRESHOLD OF THE DOOR. OPERABLE WINDOWS IN THE WALL OR WALLS USED AS A BARRIER SHALL HAVE A LATCHING DEVICE LOCATED NO LESS THAN 48" ABOVE THE FLOOR. OPENINGS IN OPERABLE WINDOWS SHALL NOT ALLOW A 4-INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION.

BRICK SPECIFICATION
ALL BRICK TO BE 'NERO SMOOTH' AS MANUFACTURED BY 'CERAMICAS MORIA'
THIN BRICK TO BE USED ON BUILT-IN BBQ, PATIO RISERS, & WOOD FRAMED CHIMNEY. PROVIDE MOCK-UP FOR APPROVAL.

HVAC ZONING
AHU 1 - BASEMENT
UNIT LOCATED IN BASEMENT
REGISTERS IN WALLS / CEILING (LINEAR)
AHU 2 - FIRST FLOOR
UNIT LOCATED IN BASEMENT
REGISTERS IN FLOOR (REGGIO FLUSH WOOD)
AHU 3 - SECOND FLOOR
UNIT LOCATED IN ATTIC
REGISTERS IN WALLS / CEILING (LINEAR)
[PROVIDE \$7,500 ALLOWANCE FOR DECORATIVE HVAC GRILLES]



ALL MECHANICAL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, BOILER, FURNACE, HOT WATER HEATER, AIR HANDLERS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS TO COMPLY WITH CODE. REFER TO ENERGY CODE COMPLIANCE DOCUMENTS.

SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

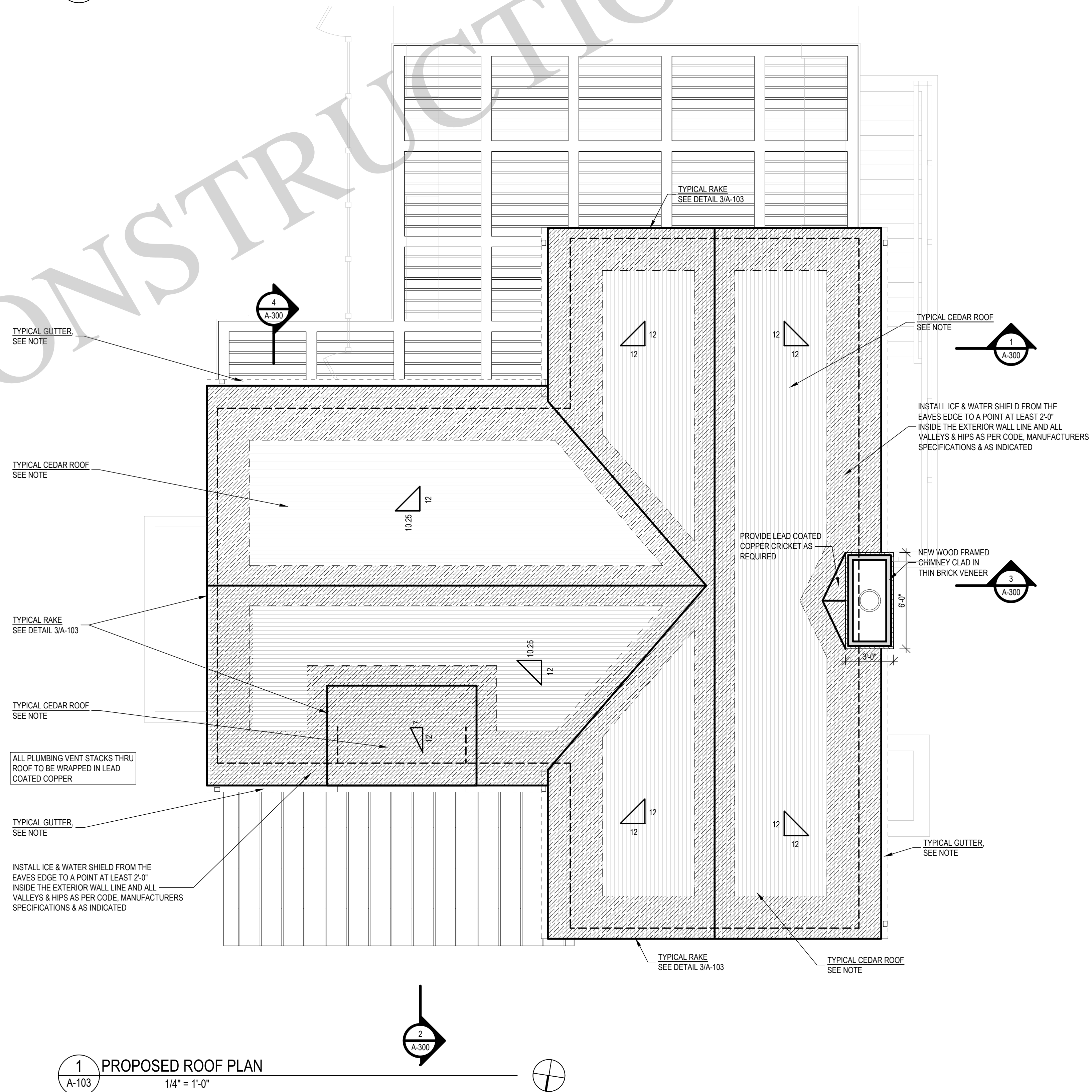
PROPOSED FIRST FLOOR PLAN

SCALE: AS NOTED

A-101

© JOSEPH PAGAC ARCHITECT PC

2 FRONT DORMER PLAN
A-103 1/4" = 1'-0"



1 PROPOSED ROOF PLAN
A-103 1/4" = 1'-0"

TYPICAL CEDAR ROOF
CASA ALASKAN YELLOW CEDAR SHINGLES TO BE CERT-LASTED TAPER SAWN 5/8" THICK X 18" LONG, RANDOM WIDTH, 5 1/2" EXPOSURE, WITH COPPER FLASHING & Drip EDGE OVER VENTGRID 12" OVER EAVES. INSTALL 3/4" CDX PLYWOOD SHEATHING OVER ROOF RAFTERS (SEE STRUCTURAL PLAN). INSTALL ICE & WATER SHIELD FROM THE EAVES EDGE TO A POINT AT LEAST 2'-0" INSIDE THE EXTERIOR WALL LINE AND AT ALL VALLEYS, HIPs, & AS INDICATED ON ROOF PLAN & AS REQUIRED TO MEET CODE.

TYPICAL METAL ROOF
STANDING SEAM 16 OZ. LEAD COATED COPPER (ASTM B101) ROOF OVER GAF "STORMGUARD" ICE & WATER SHIELD (ENTIRE ROOF) (ENTIRE ROOF) OVER 3/8" BUILDING FELT OVER 3/4" CDX PLYWOOD SHEATHING OVER ROOF RAFTERS (SEE STRUCTURAL PLAN). LEAD COATED COPPER ICE GUARDS TO BE SOLDERED TO ROOF.

TYPICAL ROUND LOT
6" HALF ROUND LEAD COATED COPPER GUTTERS WITH 4" O LEADERS TO DRAIN TO NEW DRYWELL SYSTEM (SEE SURVEY FOR SIZE & LOCATION). ALL UNDERGROUND PIPING TO BE SCHEDULE 40 P.VC SDR 35.

ARCHITECT

JOSEPH PAGAC

ARCHITECT P.C.

16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

JPA

PROJECT NO.: 2209	
DATE: 7/27/22	
DRAWN BY: CD	CHECKED BY: JP
DRAWING TITLE	

PROPOSED ROOF PLAN

SCALE: AS NOTED

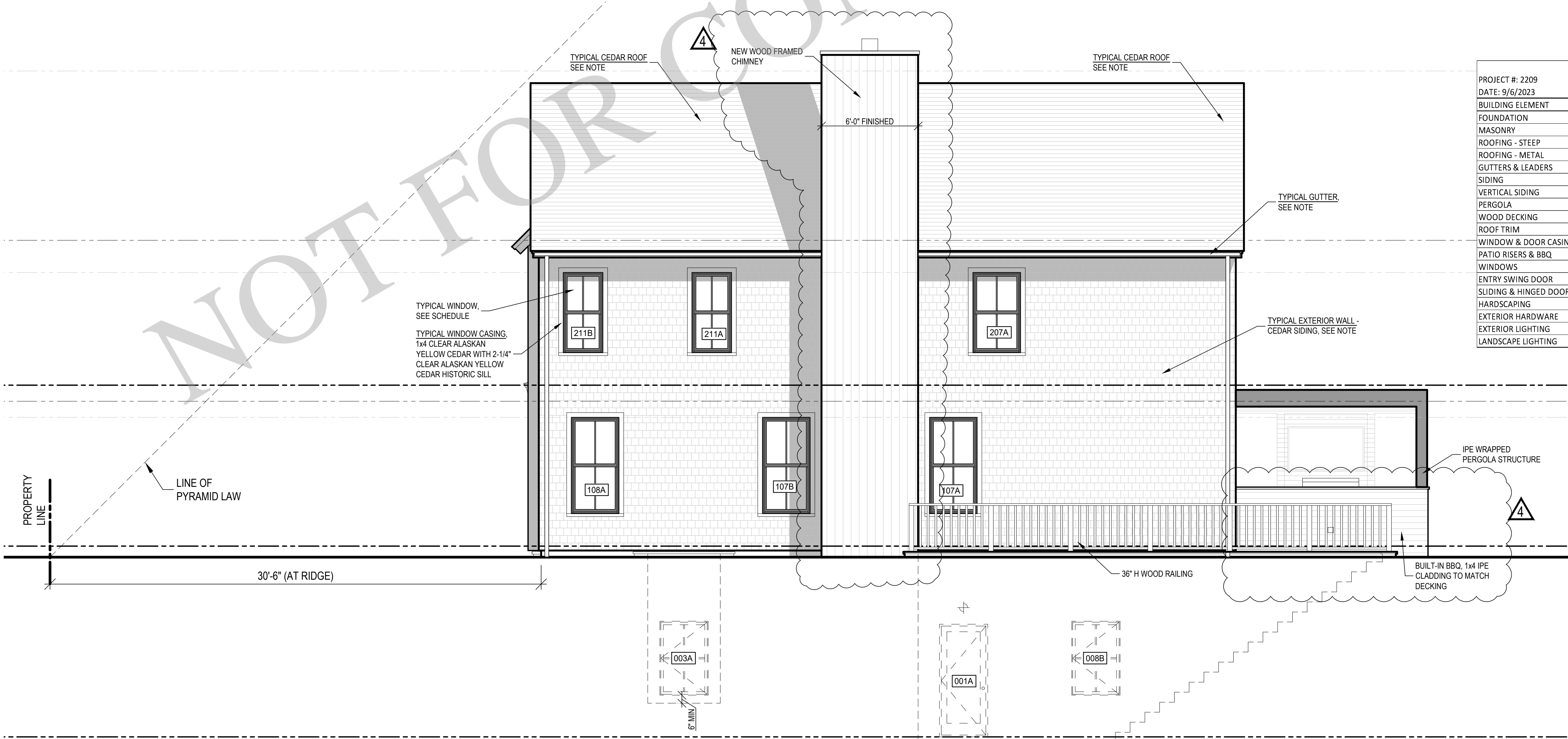
A-103

FILE NAME C:\Users\JPDS\OneDrive\Dropbox\JPA-CD Share\2209 LYSIAK\Drawings\2209-Con Docs.dwg SAVED ON 9/6/2024 1:21 PM PLOTTED ON 9/6/2024 1:24 PM PLOTTED BY JPDS

- TYPICAL CEDAR ROOF**
CCA ALASKAN YELLOW CEDAR SHINGLES TO BE CERTI-LAST TAPER SAWN 5/8" THICK x 18" LONG, RANDOM WIDTH, 5 1/2" EXPOSURE, WITH COPPER FLASHING & DRIP EDGE OVER VENTGRID 12" OVER 30# BUILDING FELT OVER 3/4" CDX PLYWOOD SHEATHING OVER ROOF RAFTERS (SEE STRUCTURAL PLAN). INSTALL ICE & WATER SHIELD FROM THE EAVES EDGE TO A POINT AT LEAST 2'-0" INSIDE THE EXTERIOR WALL LINE AND AT ALL VALLEYS, HIPs, & AS INDICATED ON ROOF PLAN AND AS REQUIRED TO MEET CODE.
- TYPICAL METAL ROOF**
STANDING SEAM 16 OZ. LEAD COATED COPPER (ASTM B101) ROOF OVER 'GAP' 'STORMGUARD' ICE & WATER SHIELD (ENTIRE ROOF) (ENTIRE ROOF) OVER 30# BUILDING FELT OVER 3/4" CDX PLYWOOD SHEATHING OVER ROOF RAFTERS (SEE STRUCTURAL PLAN). LEAD COATED COPPER ICE GUARDS TO BE SOLDERED TO ROOF.
- TYPICAL GUTTER**
6" HALF ROUND LEAD COATED COPPER GUTTERS WITH 4"Ø LEADERS TO DRAIN TO NEW DRYWELL SYSTEM (SEE SURVEY FOR SIZE & LOCATION). ALL UNDERGROUND PIPING TO BE SCHEDULE 40 PVC SDR 35.
- TYPICAL EXTERIOR WALL - CEDAR SIDING**
NEW ALASKAN YELLOW CEDAR SHINGLES OVER 'BENJAMIN OBDYKE SLICKER MAX' RAINSCREEN OVER 'BENJAMIN OBDYKE FLAT WRAP HP' HOUSEWRAP OVER 5/8" CDX PLYWOOD SHEATHING OVER 2" X 6" STUD WALL. FILL WITH INSULATION AS PER ENERGY DOCUMENTS AND FINISH WITH 4 MIL POLY VAPOR BARRIER & 5/8" GYPSUM BOARD. GYPSUM BOARD TO BE SCREWED, TAPED, SPACKLED (3 COATS), & SANDED, READY FOR PAINT.
- TYPICAL EXTERIOR WALL - VERTICAL CEDAR SIDING**
NEW ALASKAN YELLOW CEDAR T&G 1x6 (FLUSH JOINT) TREATED WITH 1 COAT OF PRE-WEATHERING STAIN OVER BENJAMIN OBDYKE SLICKER MAX RAINSCREEN OVER 'BENJAMIN OBDYKE FLAT WRAP HP' HOUSEWRAP OVER 5/8" CDX PLYWOOD SHEATHING OVER 2" X 6" STUD WALL. FILL WITH INSULATION AS PER ENERGY DOCUMENTS AND FINISH WITH 4 MIL POLY VAPOR BARRIER & 5/8" GYPSUM BOARD. GYPSUM BOARD TO BE SCREWED, TAPED, SPACKLED (3 COATS), & SANDED, READY FOR PAINT.
- TYPICAL DECK**
NEW 5/4x4 IPE DECKING INSTALLED WITH CONCEALED FASTENERS (5/32" SPACING, IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS) OVER A.C.Q. DECK JOISTS AS INDICATED ON STRUCTURAL PLANS.



1 PROPOSED NORTH ELEVATION (FRONT)
A-200
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
A-200
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE		
PROJECT #:	2209	
DATE:	9/6/2023	
BUILDING ELEMENT	MATERIAL / STYLE	COLOR / FINISH
FOUNDATION	POURED CONCRETE	GRAY (NATURAL)
MASONRY	BRICK	GRAY
ROOFING - STEEP	CEDAR SHAKES	NATURAL
ROOFING - METAL	LEAD COATED COPPER	GRAY
GUTTERS & LEADERS	LEAD COATED COPPER	GRAY
SIDING	CEDAR SHAKE SIDING	NATURAL
VERTICAL SIDING	CLEAR CEDAR	NATURAL
PERGOLA	IPE	NATURAL
WOOD DECKING	IPE	NATURAL
ROOF TRIM	CLEAR CEDAR	NATURAL
WINDOW & DOOR CASING	CLEAR CEDAR	NATURAL
PATIO RISERS & BBQ	BRICK	RED (NATURAL)
WINDOWS	ALUMINUM OR VINYL CLAD WITH CLEAR GLASS	CHARCOAL
ENTRY SWING DOOR	WOOD & GLASS	BLACK
SLIDING & HINGED DOORS	ALUMINUM WITH CLEAR GLASS	CHARCOAL
HARDSCAPING	PENNSYLVANIA BLUESTONE	NATURAL
EXTERIOR HARDWARE	BRASS	OIL RUBBED BRONZE
EXTERIOR LIGHTING	METAL WALL SCONCES	BLACK
LANDSCAPE LIGHTING	METAL PATH LIGHTING	COPPER

SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

PROPOSED
EXTERIOR
ELEVATIONS

SCALE: AS NOTED

A-200

© JOSEPH PAGAC ARCHITECT PC

$$1/4'' = 1'-0''$$

TYPICAL DECK
NEW 5/4x4 IPE DECKING INSTALLED WITH CONCEALED FASTENERS (5/32" SPACING, IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS) OVER A.C.Q. DECK JOISTS AS INDICATED ON STRUCTURAL PLANS.

Diagram illustrating the cross-section of a porch structure, showing the relationship between the exterior wall, cedar siding, and the porch beam.

Labels and Dimensions:

- TYPICAL EXTERIOR WALL - CEDAR SIDING. SEE NOTE
- 5/4 x 4 CLEAR CEDAR CASING
- 5/4" CLEAR CEDAR FRIEZE TO ALIGN WITH PORCH BEAM
- 5/4 x 4 CLEAR CEDAR HEAD CASING
- 10x10 ALASKAN YELLOW CEDAR PILASTER TO MATCH TYPICAL EXTERIOR COLUMN
- 5/4 x 4 CLEAR CEDAR CASING
- IPE BENCH
- 7'-2 1/2"
- 1'-5"

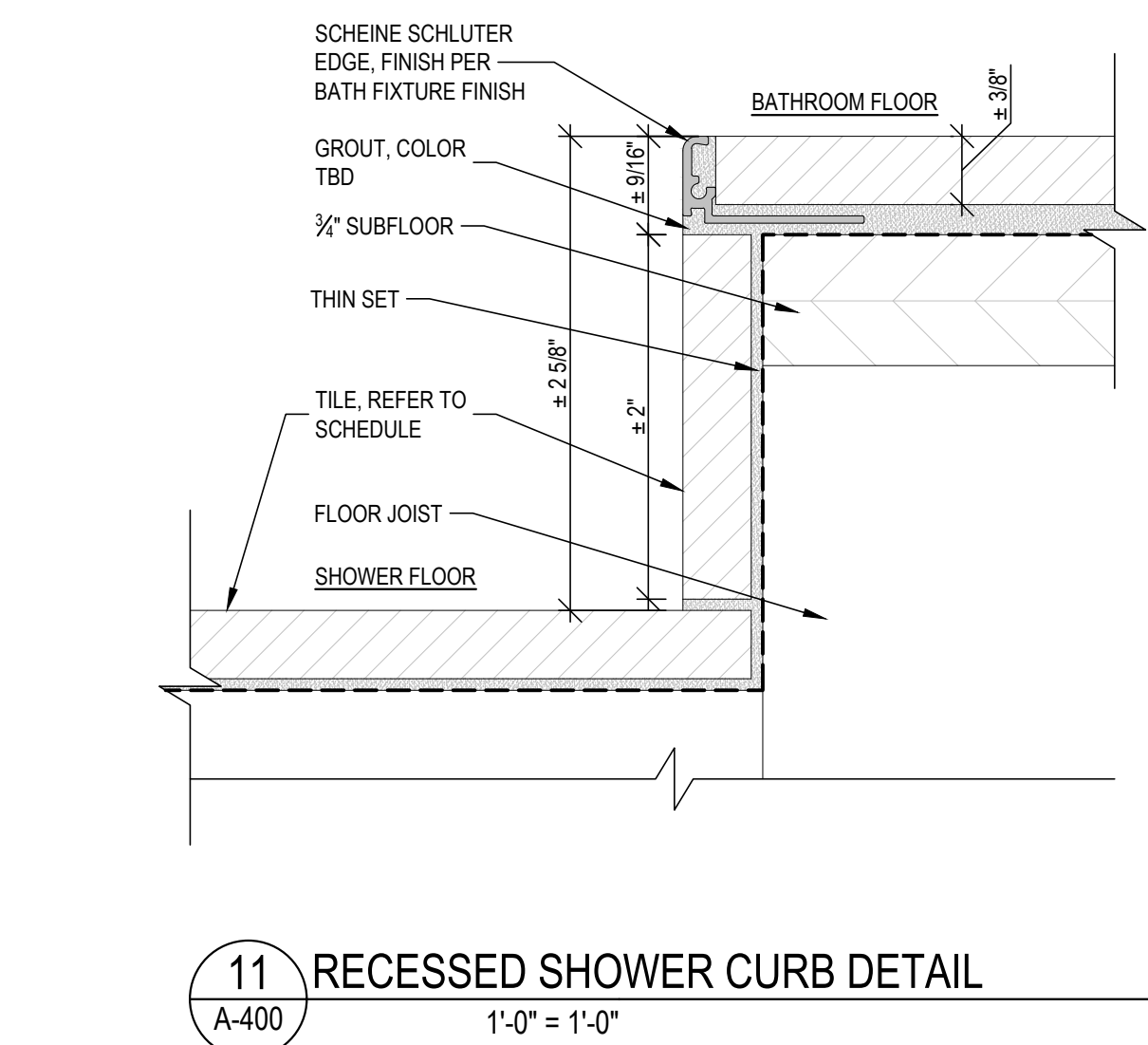
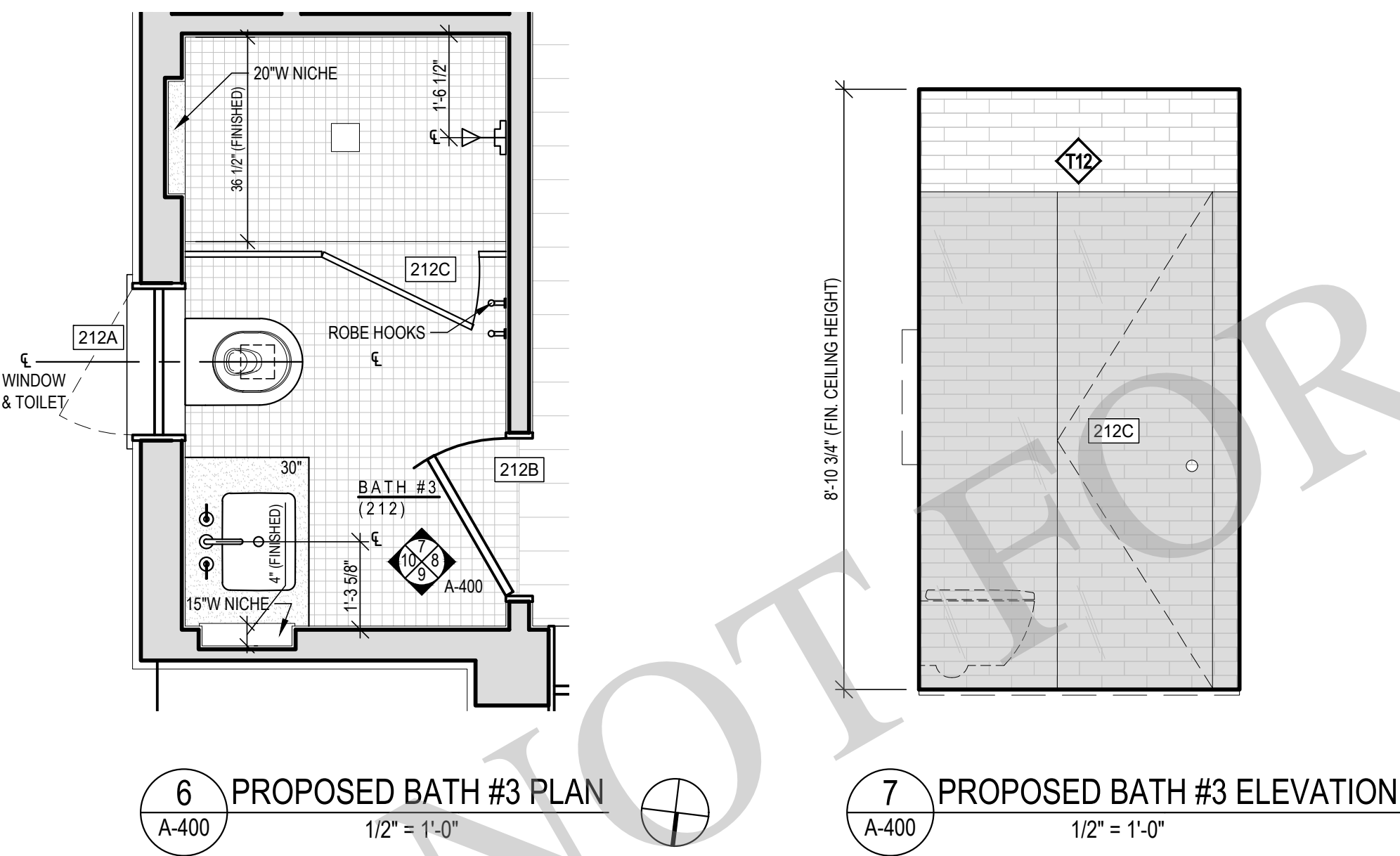
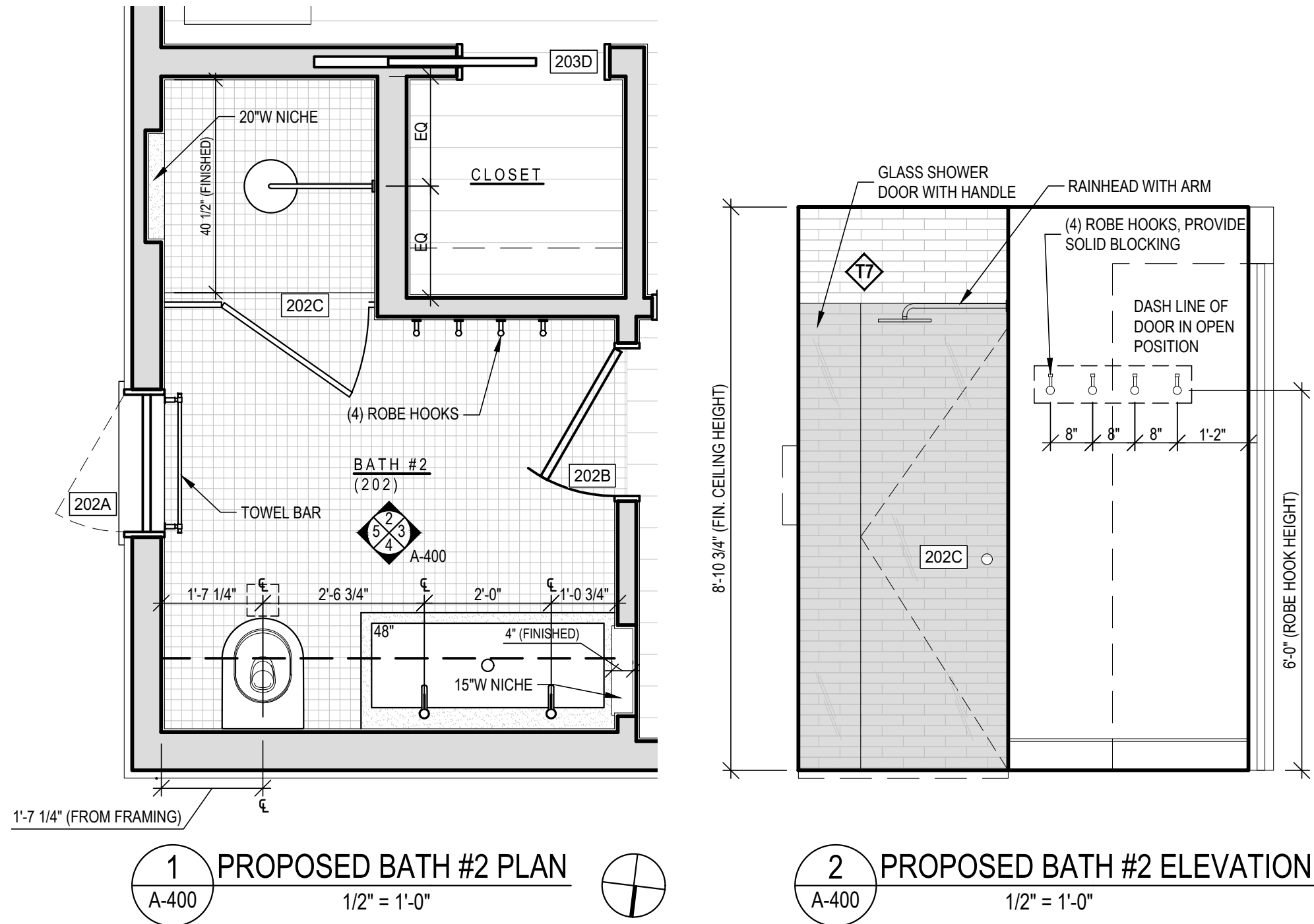
[illegible]

± 29'-5" BUILDING HEIGHT

TYPICAL EXTERIOR COLUMN
10x10 SEE NOTE
(ALASKAN YELLOW CEDAR)

© JOSEPH PAGAC ARCHITECT PC

FILE NAME C:\Users\16318\Dropbox\JPA-CD Share\2209_1\SI\AKDrawings\2209-interior.DWG SAVED ON 2/17/2025 2:53 PM PLOTTED ON 2/17/2025 2:53 PM PLOTTED BY CHRISTIAN DISILVESTRE



TILE WALLS & FLOORING:
SEE STONE & TILE SCHEDULE ON SHEET
A-110 FOR SPECIFICATIONS.

NOTES:
CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD
AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE
ARCHITECT'S ATTENTION.
ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

- GENERAL BATHROOM NOTES:**
- REFER TO STONE & TILE SCHEDULE FOR ALL STONE & TILE SPECIFICATIONS.
 - REFER TO PLUMBING FIXTURE & FITTING SCHEDULE FOR ALL PLUMBING SPECIFICATIONS.
 - REFER TO BATHROOM ACCESSORIES SCHEDULE FOR ALL ACCESSORY SPECIFICATIONS. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED FOR PROPER ATTACHMENT. EXACT LOCATION OF ALL BATHROOM ACCESSORIES TO BE REVIEWED ON SITE WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
 - DECORATIVE WALL SCONCE FIXTURES & FRAMED MIRRORS TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. EXACT LOCATIONS TO BE REVIEWED ON SITE WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL BUILT-IN CABINETRY UNITS, SUCH AS CUSTOM VANITIES & MEDICINE CABINETS, ETC.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS & PHOTO LAYOUTS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL STONE SLAB PIECES, SUCH AS SHOWER JAMBS, SILLS, NICHES, BENCHES, COUNTERTOPS, FLOORING, ETC.
 - CONTRACTOR TO REVIEW ALL TILE LAYOUTS, GROUT JOINTS & COLORS, AND DETAILS WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL CUSTOM CABINETRY & BUILT-IN MILLWORK.

SEAL

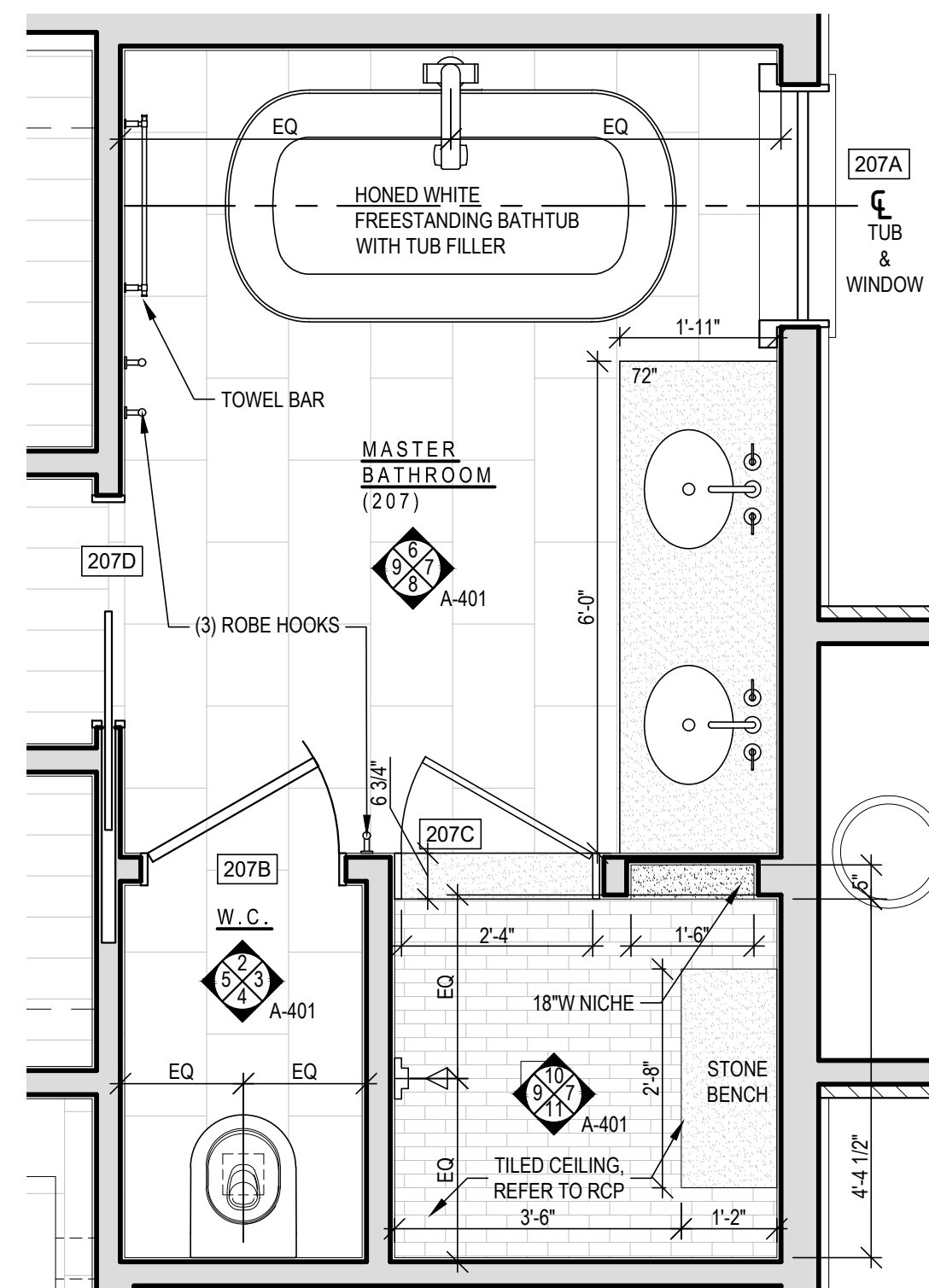
ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE
**PROPOSED INTERIOR
ELEVATIONS - BATH #
2 & 3**

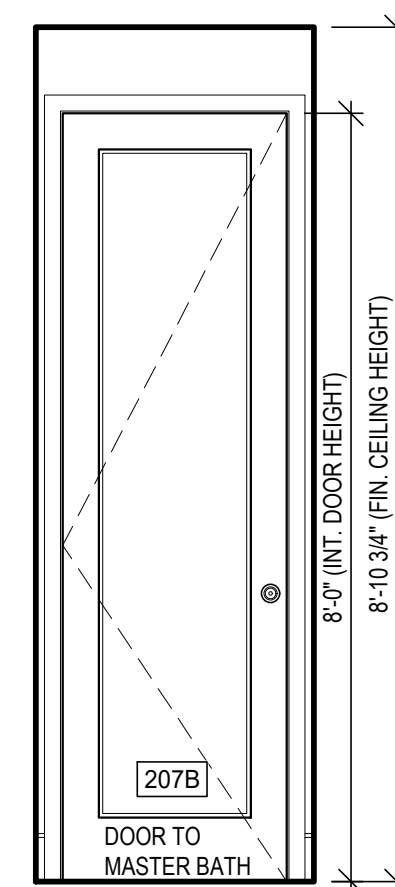
SCALE: AS NOTED

A-400

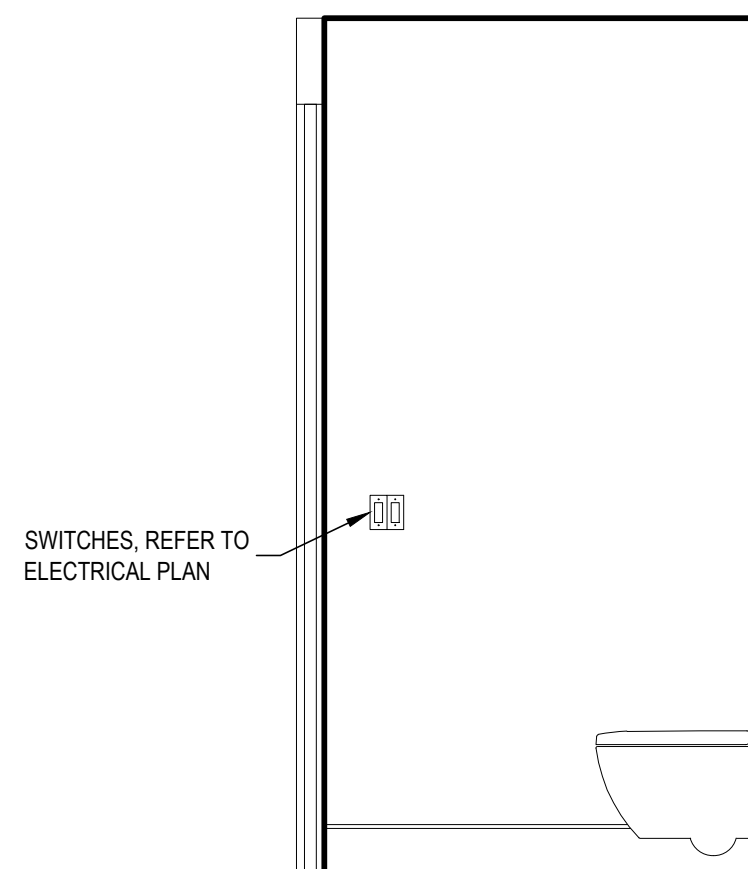
© JOSEPH PAGAC ARCHITECT PC



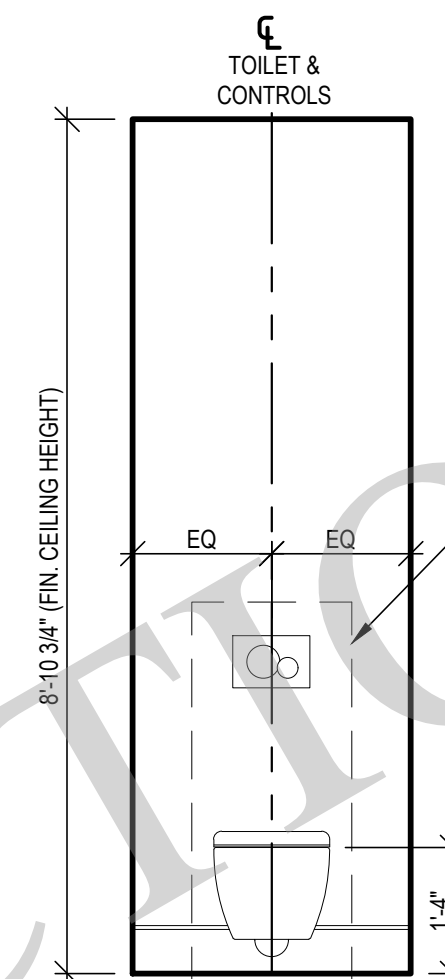
1 PROPOSED MASTER BATHROOM PLAN
A-401 1/2" = 1'-0"



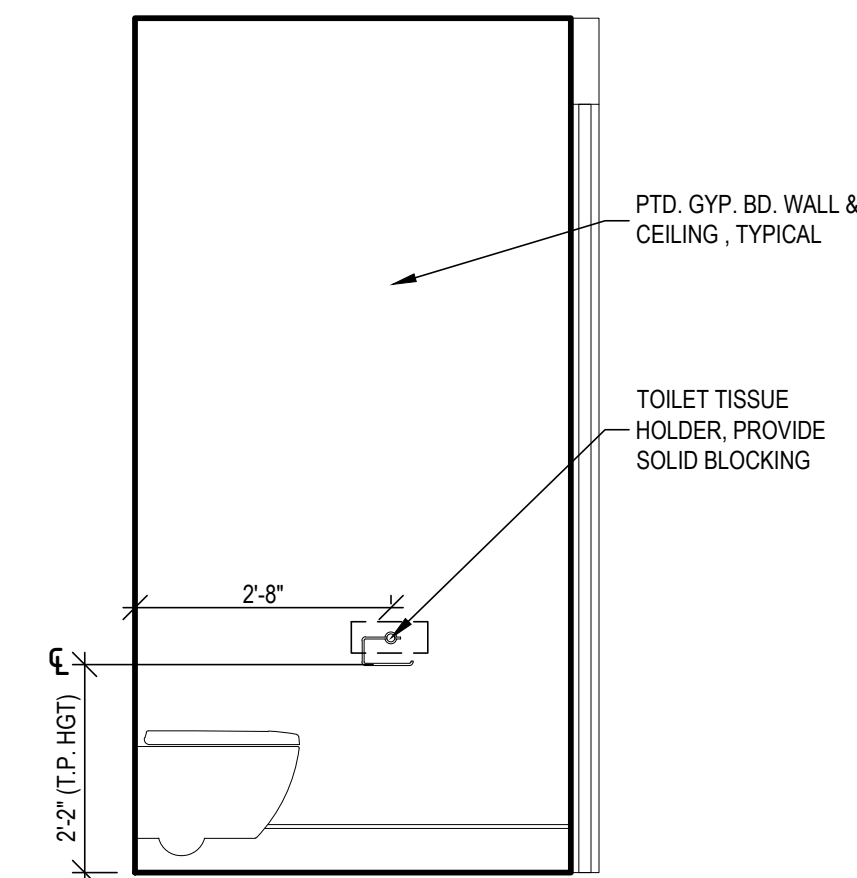
2 PROPOSED MASTER BATH W/C ELEVATION
A-401 1/2" = 1'-0"



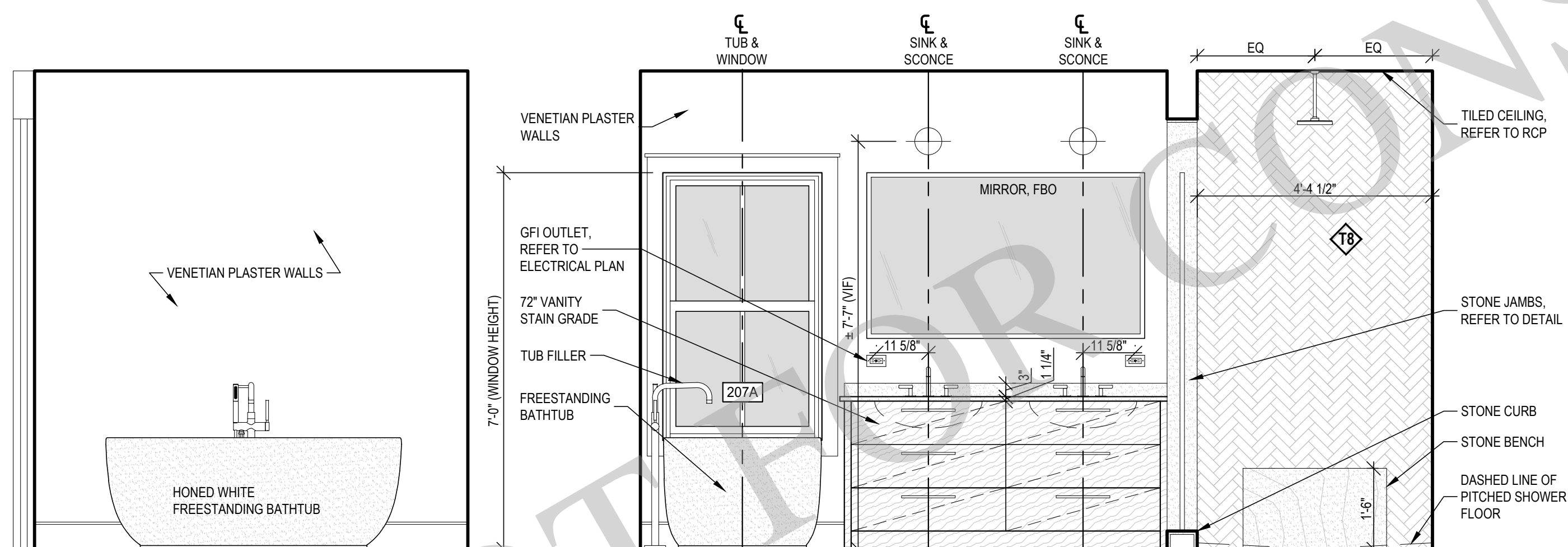
3 PROPOSED MASTER BATH W/C ELEVATION
A-401 1/2" = 1'-0"



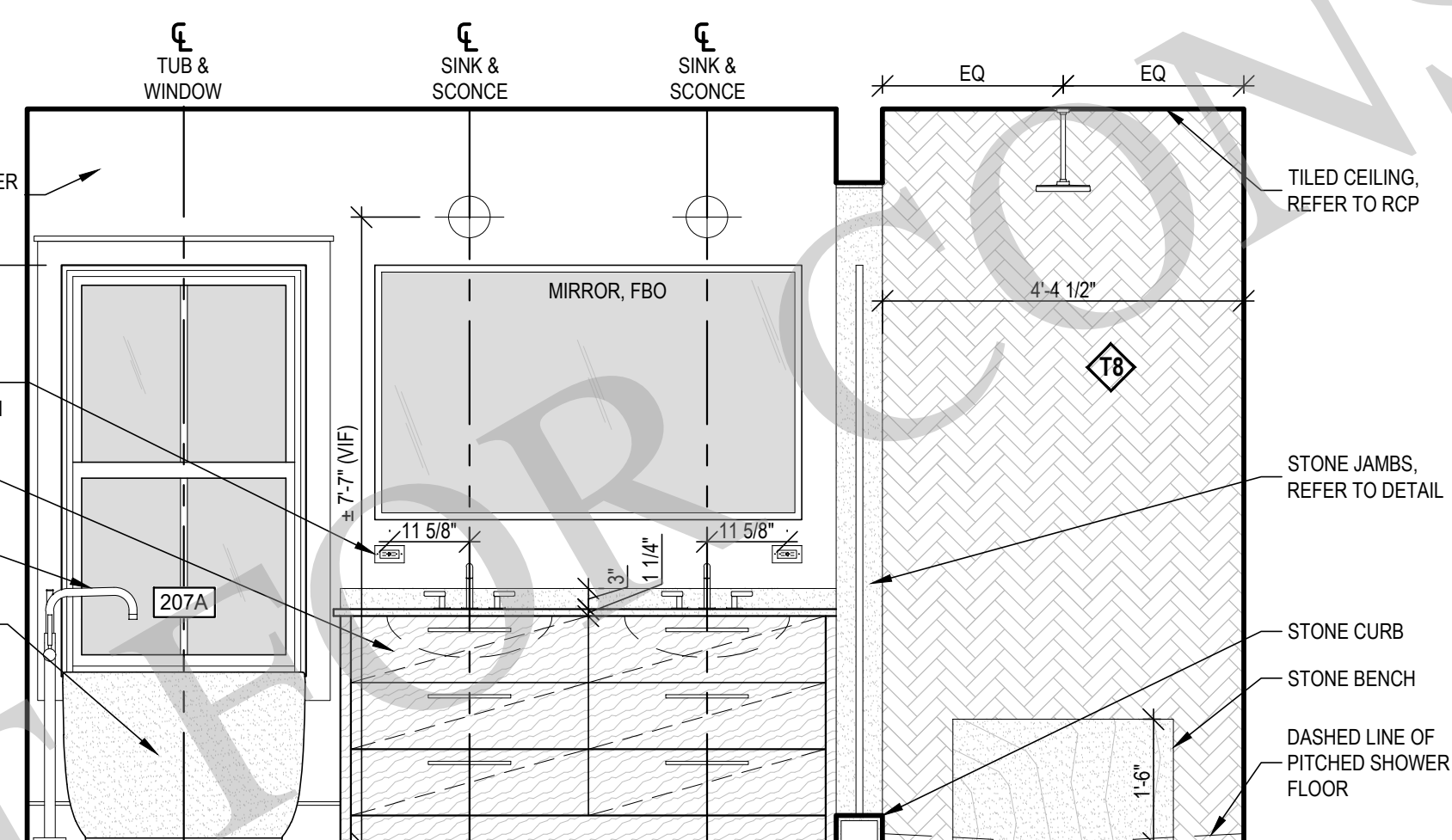
4 PROPOSED MASTER BATH W/C ELEVATION
A-401 1/2" = 1'-0"



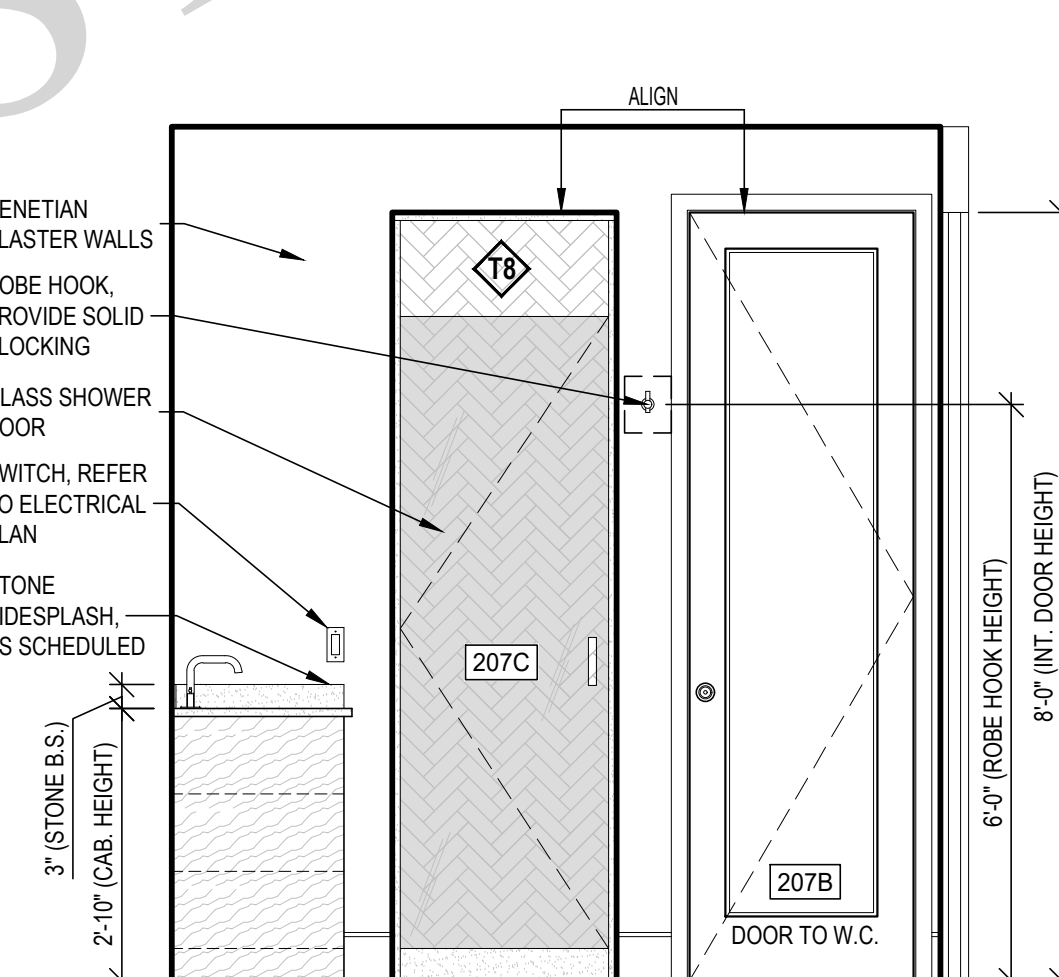
5 PROPOSED MASTER BATH W/C ELEVATION
A-401 1/2" = 1'-0"



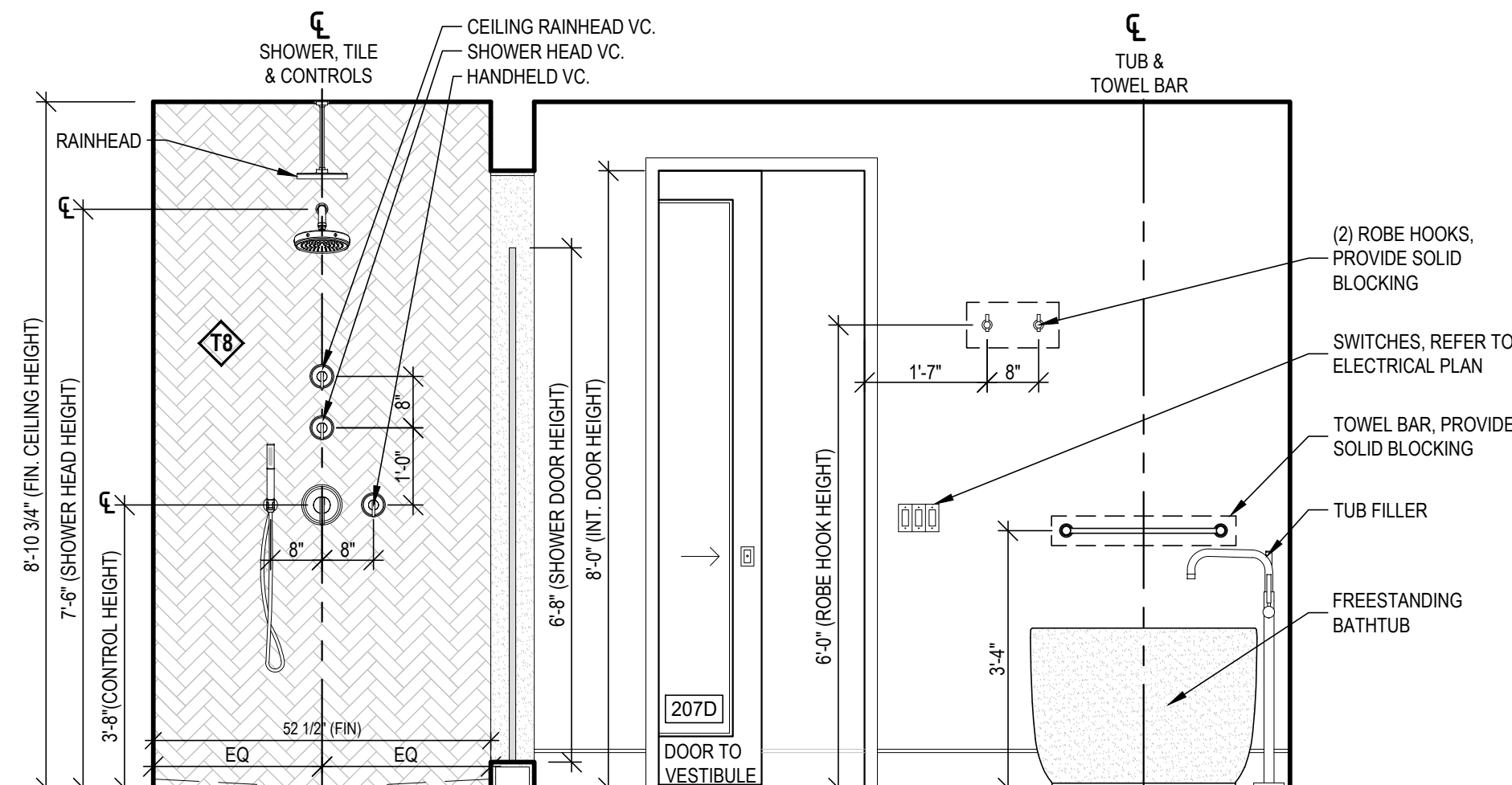
6 PROPOSED MASTER BATH ELEVATION
A-401 1/2" = 1'-0"



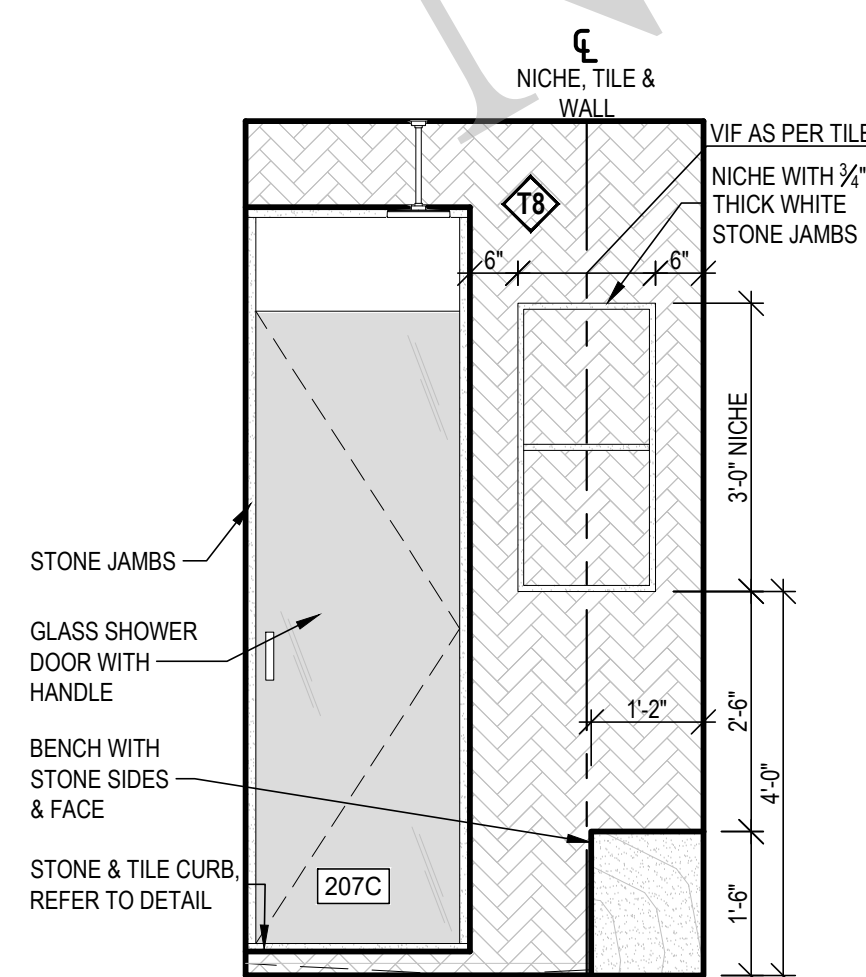
7 PROPOSED MASTER BATH ELEVATION
A-401 1/2" = 1'-0"



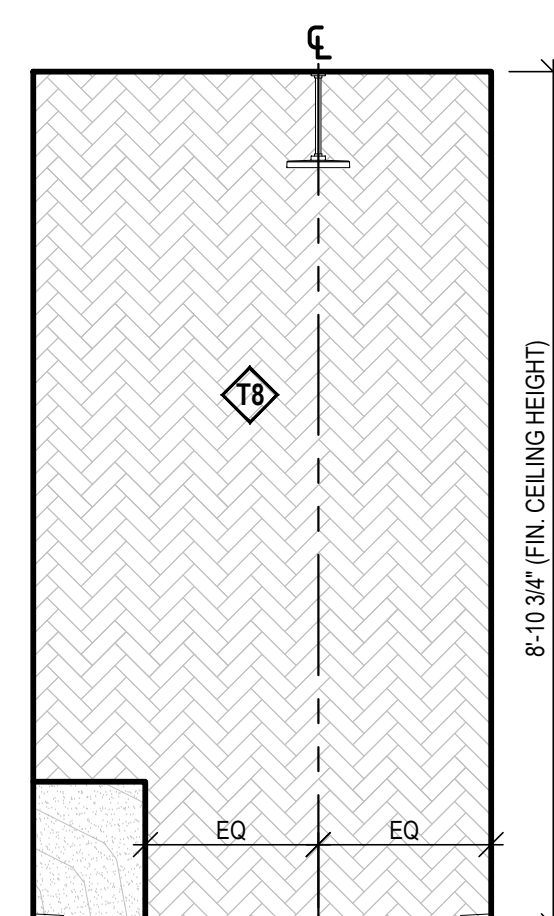
8 PROPOSED MASTER BATH ELEVATION
A-401 1/2" = 1'-0"



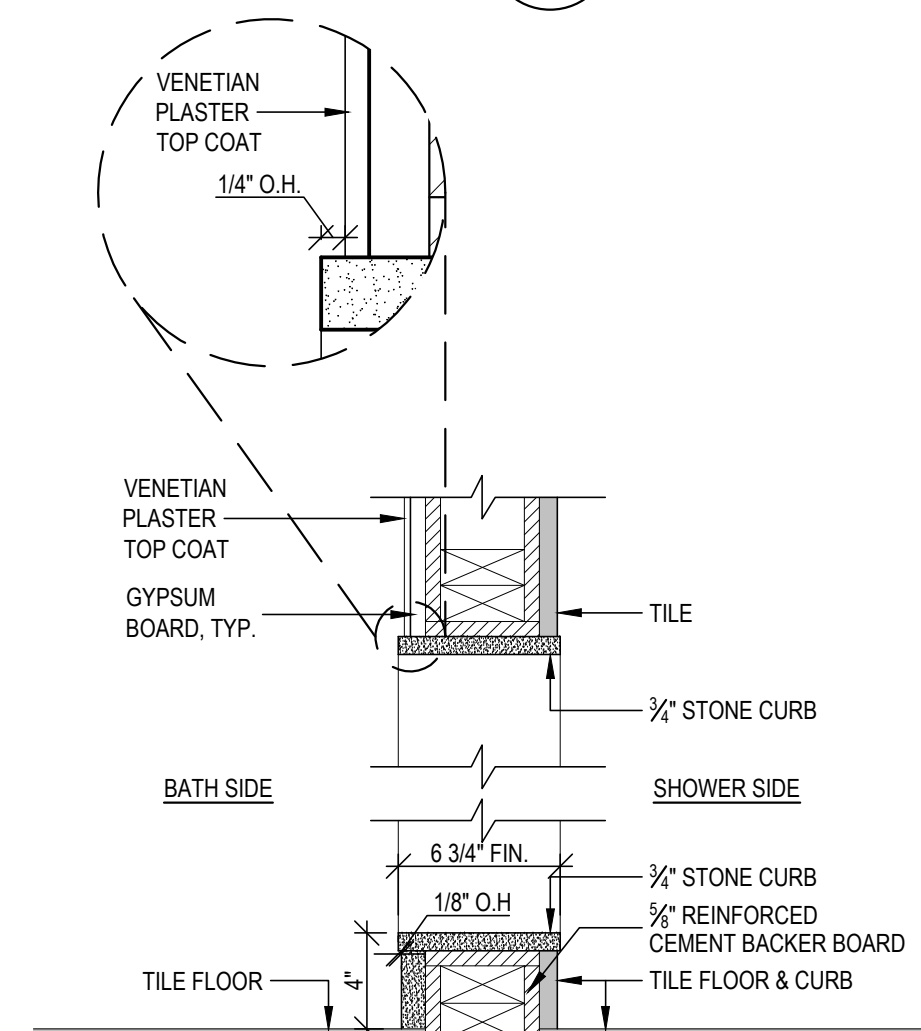
9 PROPOSED MASTER BATH ELEVATION
A-401 1/2" = 1'-0"



10 PROPOSED MASTER BATH ELEVATION
A-401 1/2" = 1'-0"



11 PROPOSED MASTER BATH ELEVATION
A-401 1/2" = 1'-0"



12 JAMB & CURB DETAIL

T# **TILE WALLS & FLOORING:**
SEE STONE & TILE SCHEDULE ON SHEET
A-110 FOR SPECIFICATIONS.

STONE SPEC:

¾" THICK, CALACATTA MALVA, POLISHED

NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD
AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE
ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N

GENERAL BATHROOM NOTES:

1. REFER TO STONE & TILE SCHEDULE FOR ALL STONE & TILE SPECIFICATIONS.
2. REFER TO PLUMBING FIXTURE & FITTING SCHEDULE FOR ALL PLUMBING SPECIFICATIONS.
3. REFER TO BATHROOM ACCESSORIES SCHEDULE FOR ALL ACCESSORY SPECIFICATIONS. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED FOR PROPER ATTACHMENT. EXACT LOCATION OF ALL BATHROOM ACCESSORIES TO BE REVIEWED ON SITE WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
4. DECORATIVE WALL SCONCE FIXTURES & FRAMED MIRRORS TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. EXACT LOCATIONS TO BE REVIEWED ON SITE WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
5. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL BUILT-IN CABINETRY UNITS, SUCH AS COUNTER VANITIES & MEDICINE CABINETS, ETC.
6. CONTRACTOR TO PROVIDE SHOP DRAWINGS & PHOTO LAYOUTS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL STONE SLAB PIECES, SUCH AS SHOWER JAMBS, SILLS, NICHES, BENCHES, COUNTERTOPS, FLOORS, ETC.
7. CONTRACTOR TO REVIEW ALL TILE LAYOUTS, GROUT JOINTS & COLORS, AND DETAILS WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
8. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL CUSTOM CABINETY & BUILT-IN MILL WORK.

SEAL

ARCHITECT

JOSEPH PAGAC

ARCHITECT P.C.

16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

JPA

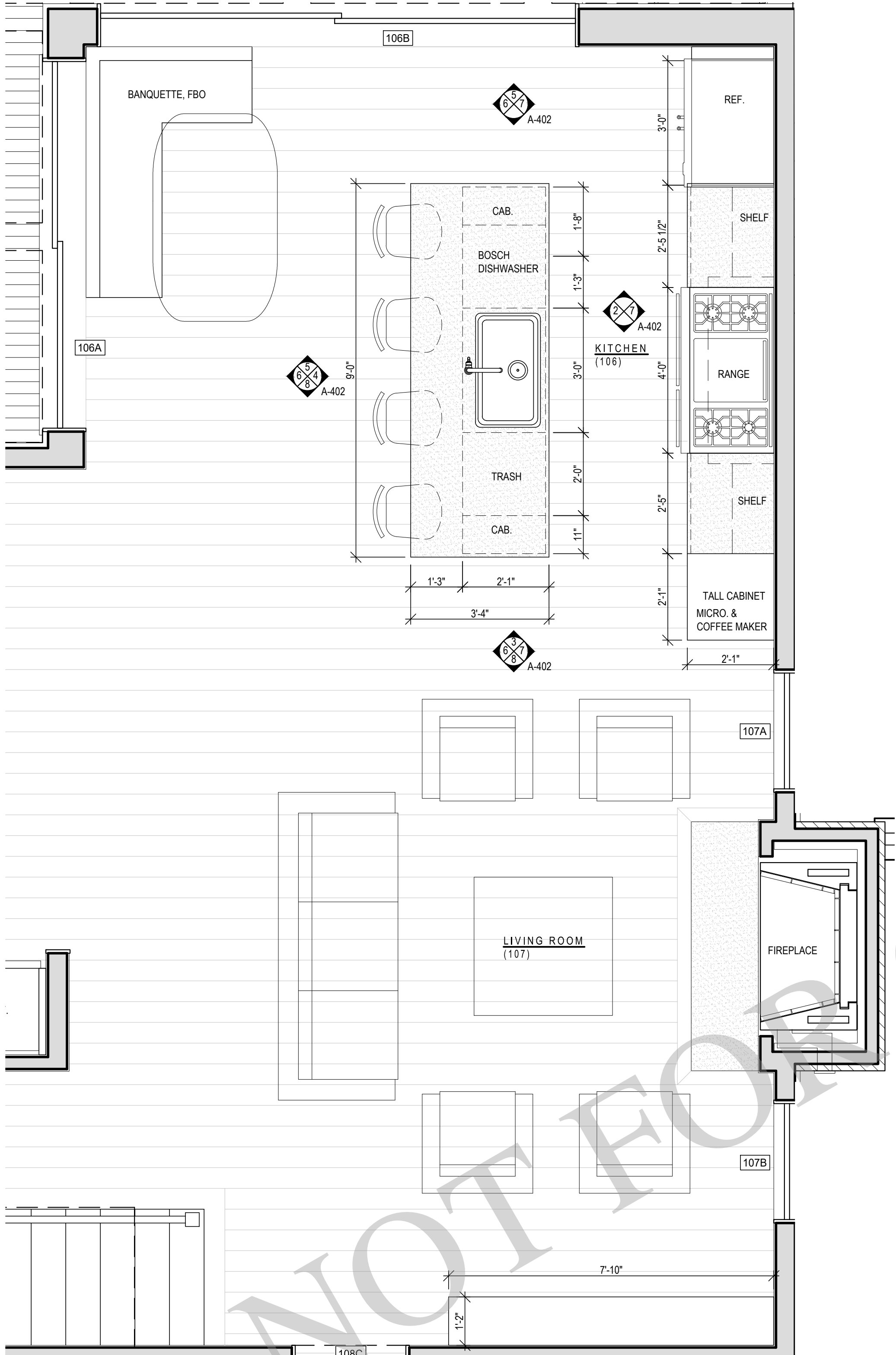
PROJECT NO.: 2209	
DATE: 7/27/22	
DRAWN BY: CD	CHECKED BY: JP
DRAWING TITLE	

PROPOSED INTERIOR ELEVATIONS - MASTER BATH & W/C

SCALE: AS NOTED

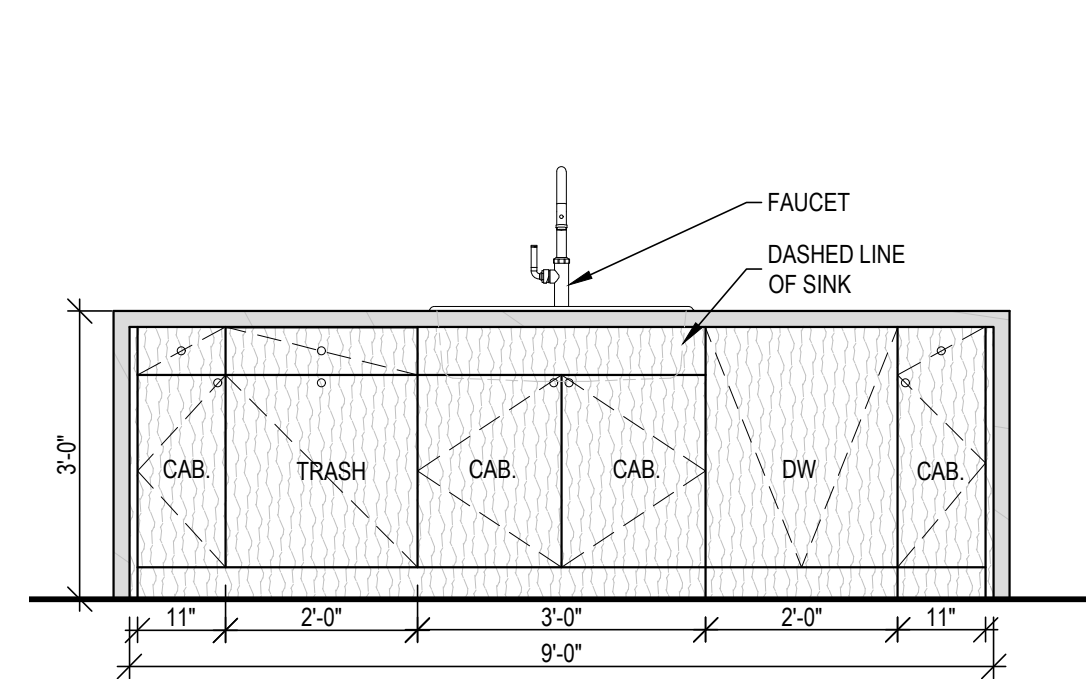
A-401

© JOSEPH PAGAC ARCHITECT PC

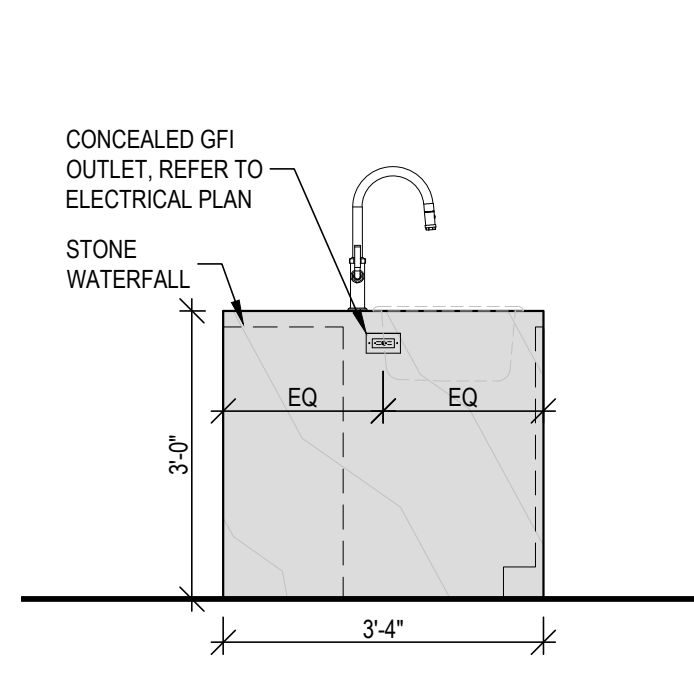


1 PROPOSED KITCHEN & DINING ROOM PLAN
A-402
1/2" = 1'-0"

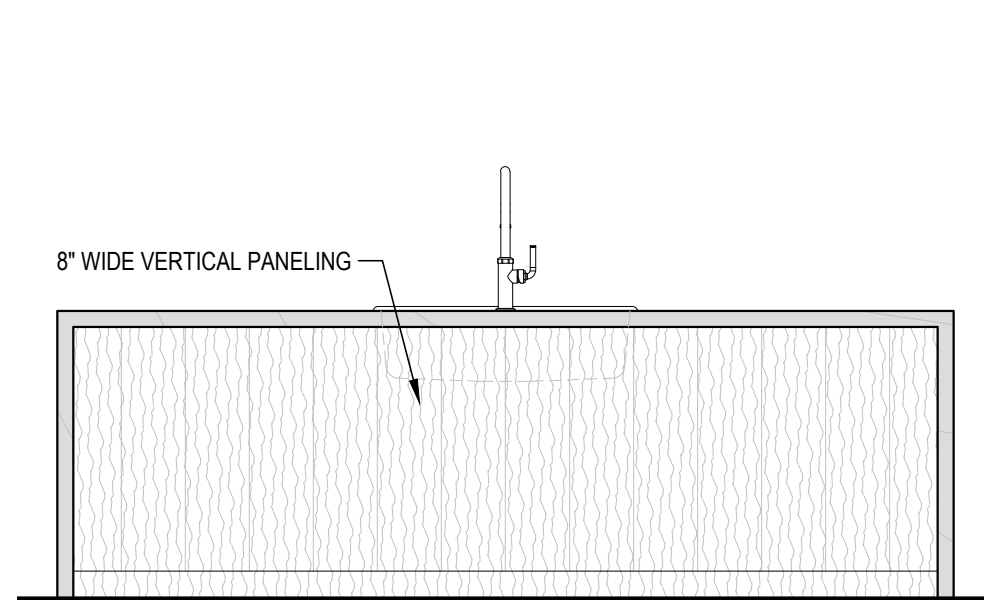
STONE SPEC:
COUNTERTOP - 1-1/4" THICK CALACATTA VIOLA, HONED
BACKSPLASH - 3/4" THICK CALACATTA VIOLA, HONED



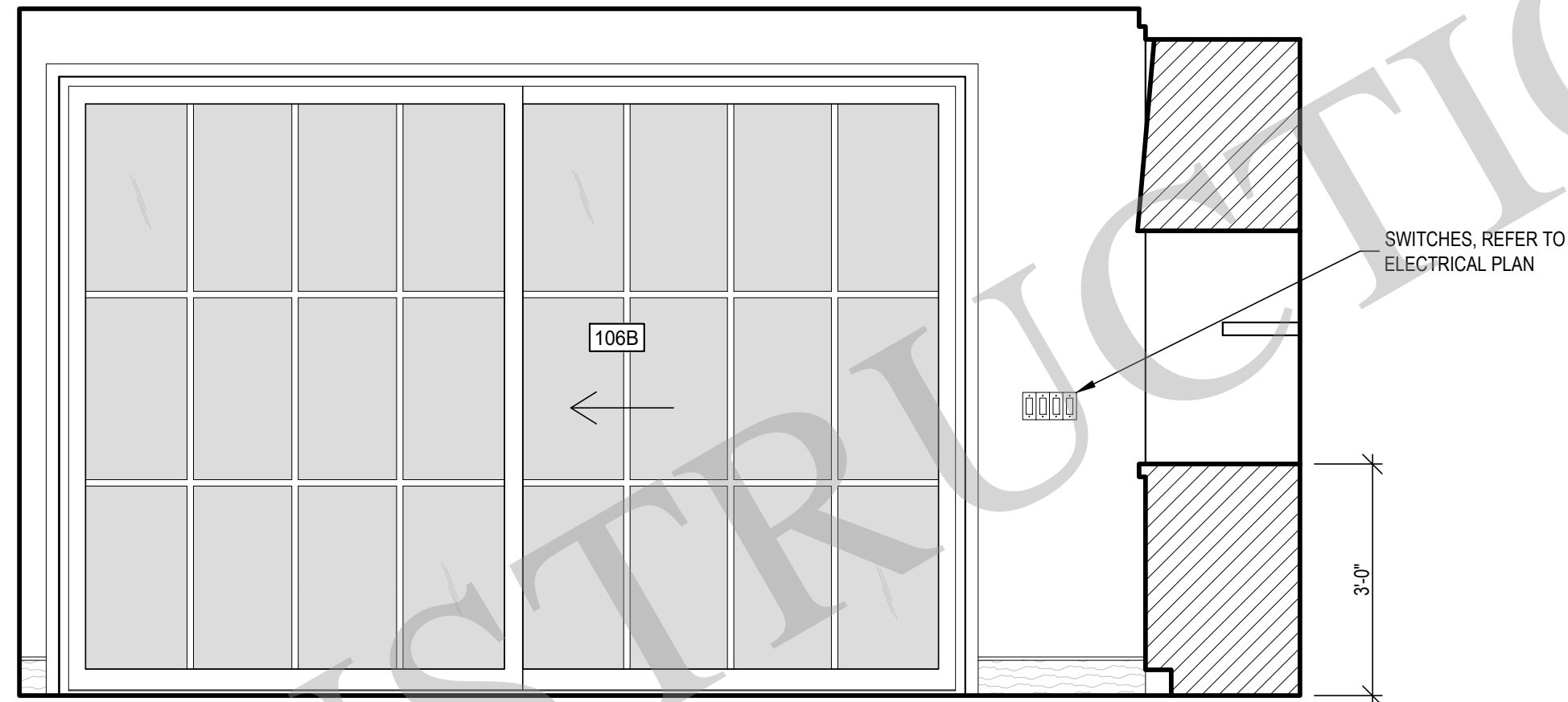
2 PROPOSED KITCHEN ISLAND ELEVATION
A-402
1/2" = 1'-0"



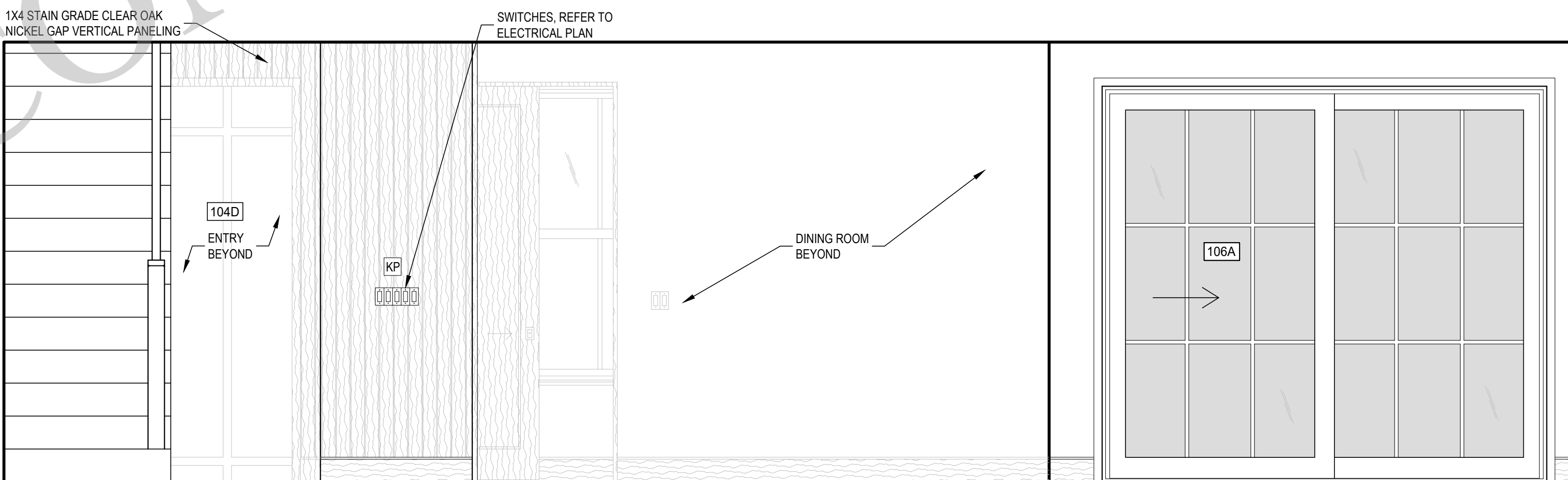
3 PROPOSED KITCHEN ISLAND ELEVATION
A-402
1/2" = 1'-0"



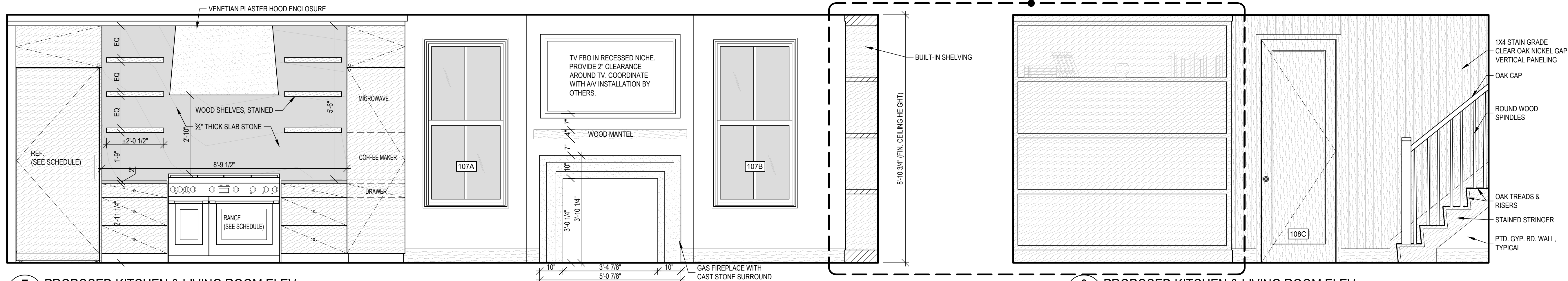
4 PROPOSED KITCHEN ISLAND ELEVATION
A-402
1/2" = 1'-0"



5 PROPOSED KITCHEN ELEVATION
A-402
1/2" = 1'-0"



6 PROPOSED KITCHEN/LIVING ROOM ELEVATION
A-402
1/2" = 1'-0"



7 PROPOSED KITCHEN & LIVING ROOM ELEV.
A-402
1/2" = 1'-0"

8 PROPOSED KITCHEN & LIVING ROOM ELEV.
A-402
1/2" = 1'-0"

NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM CABINETRY & BUILT-IN MILLWORK BASED ON ACTUAL FIELD MEASUREMENTS FOR ARCHITECTS REVIEW & APPROVAL PRIOR TO FABRICATION

SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

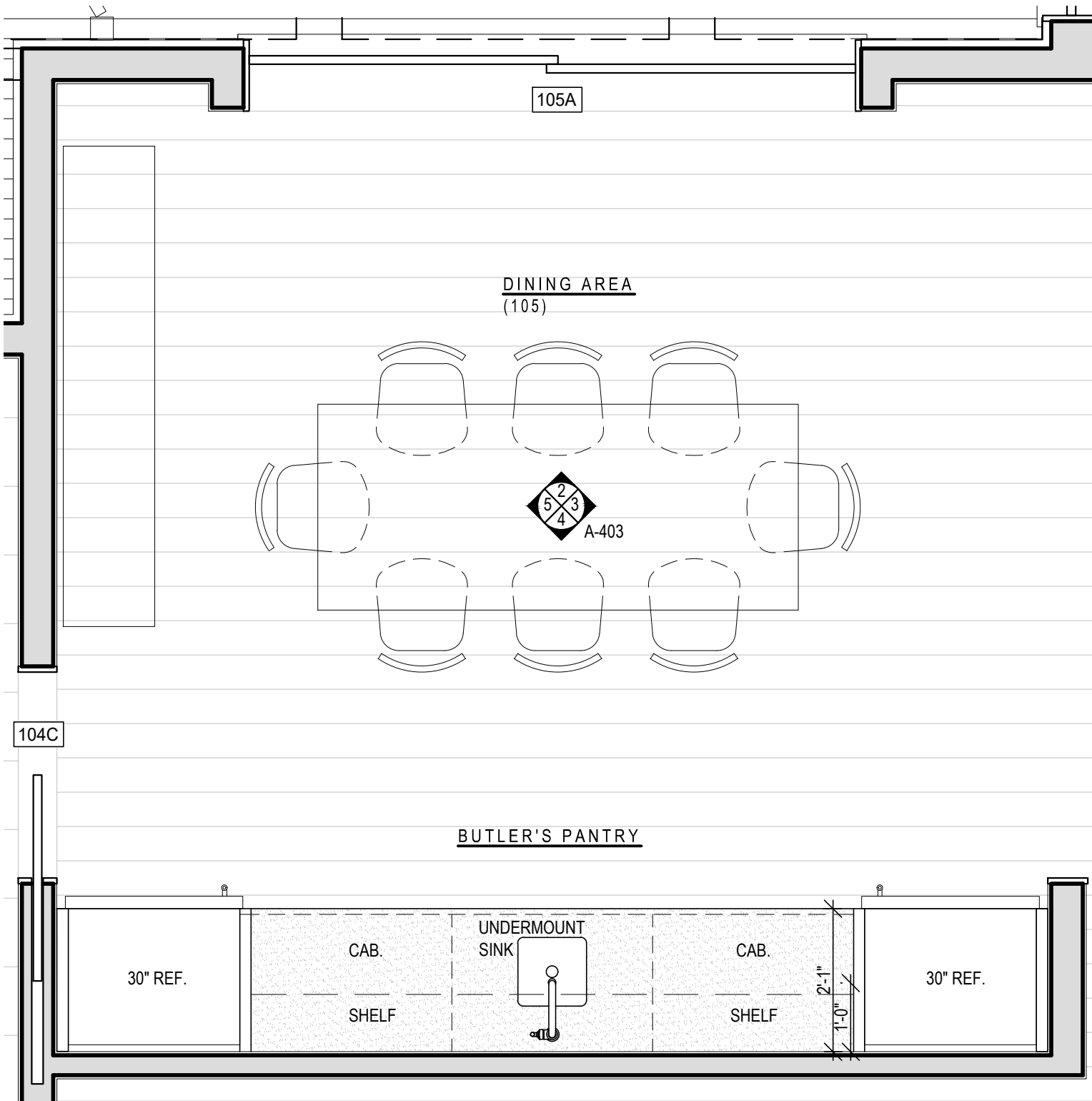
**PROPOSED INTERIOR
ELEVATIONS - KITCHEN
& LIVING ROOM**

SCALE: AS NOTED

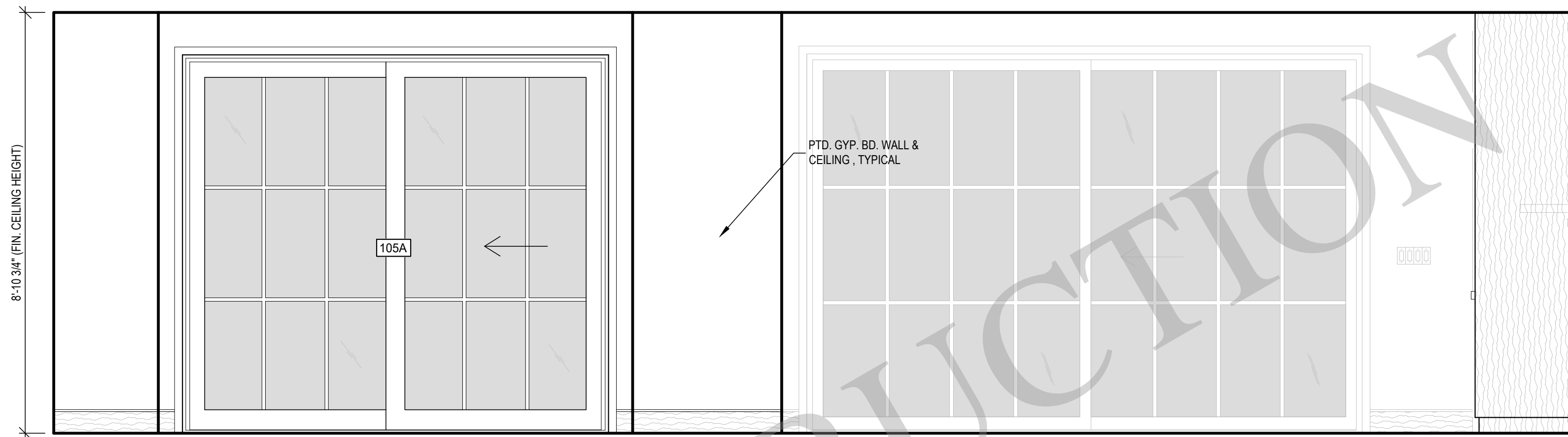
A-402

© JOSEPH PAGAC ARCHITECT PC

FILE NAME C:\Users\16318\Dropbox\JPA-CD Share\2209 - LYSIAK\Drawings\2209-interior.DWG SAVED ON 2/17/2025 2:36 PM PLOTTED ON 2/17/2025 2:54 PM PLOTTED BY CHRISTIAN DISILVESTRE



1 PROPOSED DINING ROOM PLAN
A-403
1/2" = 1'-0"



2 PROPOSED DINING ROOM ELEVATION
A-403
1/2" = 1'-0"

STONE SPEC:
COUNTERTOP - 1-1/4" THICK CALACATTA VIOLA, HONED
BACKSPLASH - 3/4" THICK CALACATTA VIOLA, HONED

NOTES:

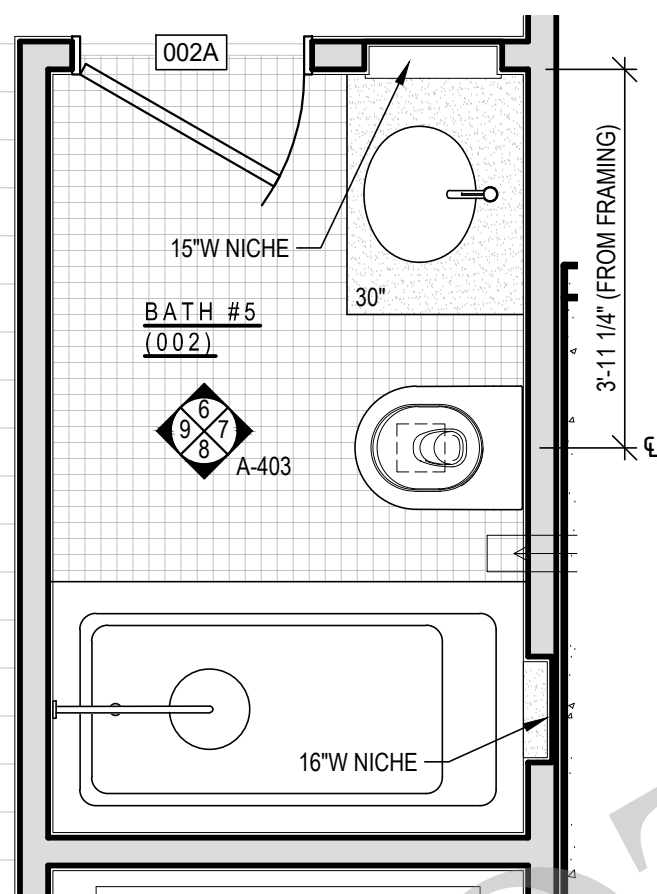
CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD
AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE
ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

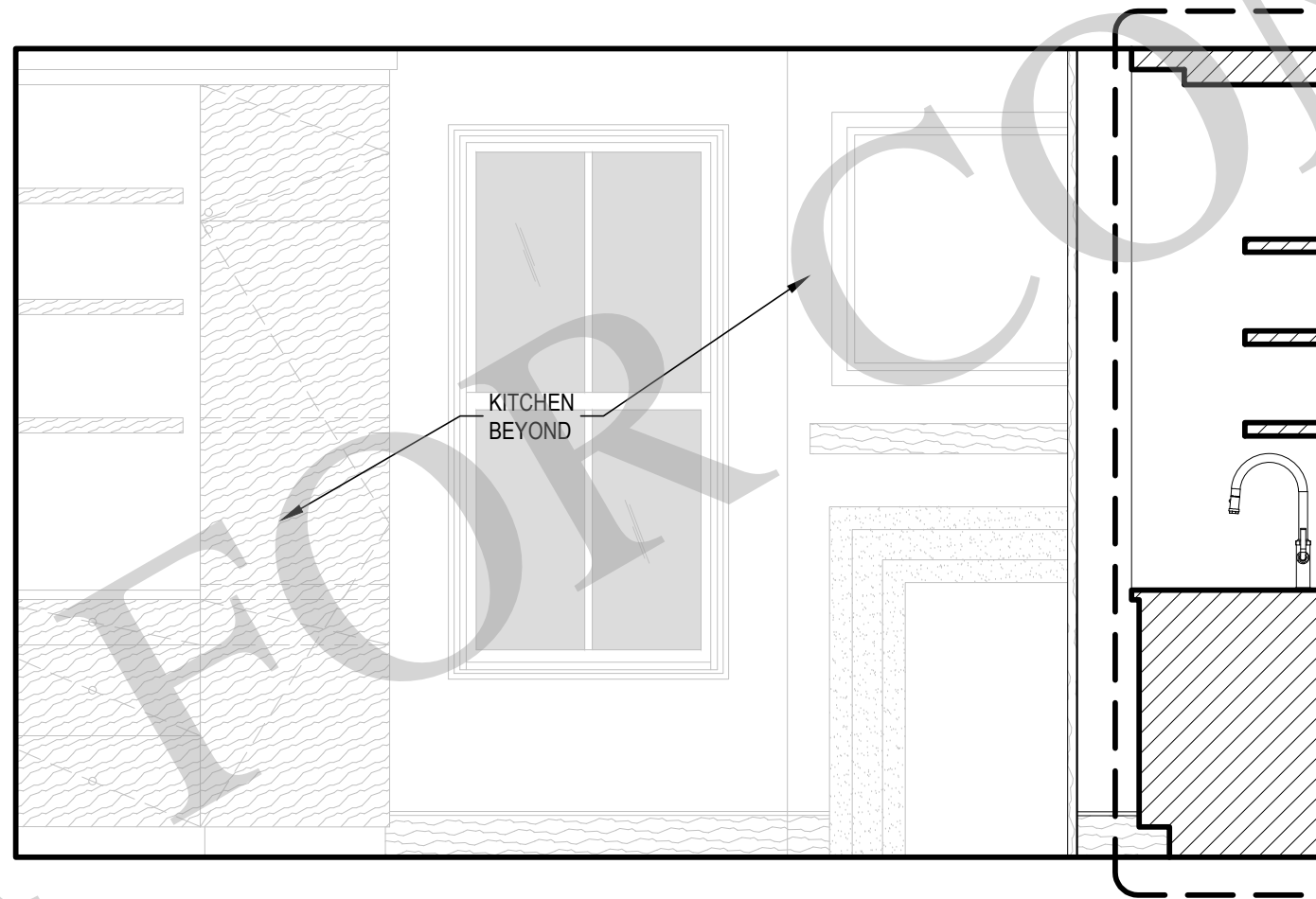
CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM
CABINETY & BUILT-IN MILLWORK BASED ON ACTUAL FIELD
MEASUREMENTS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR
TO FABRICATION

GENERAL BATHROOM NOTES:

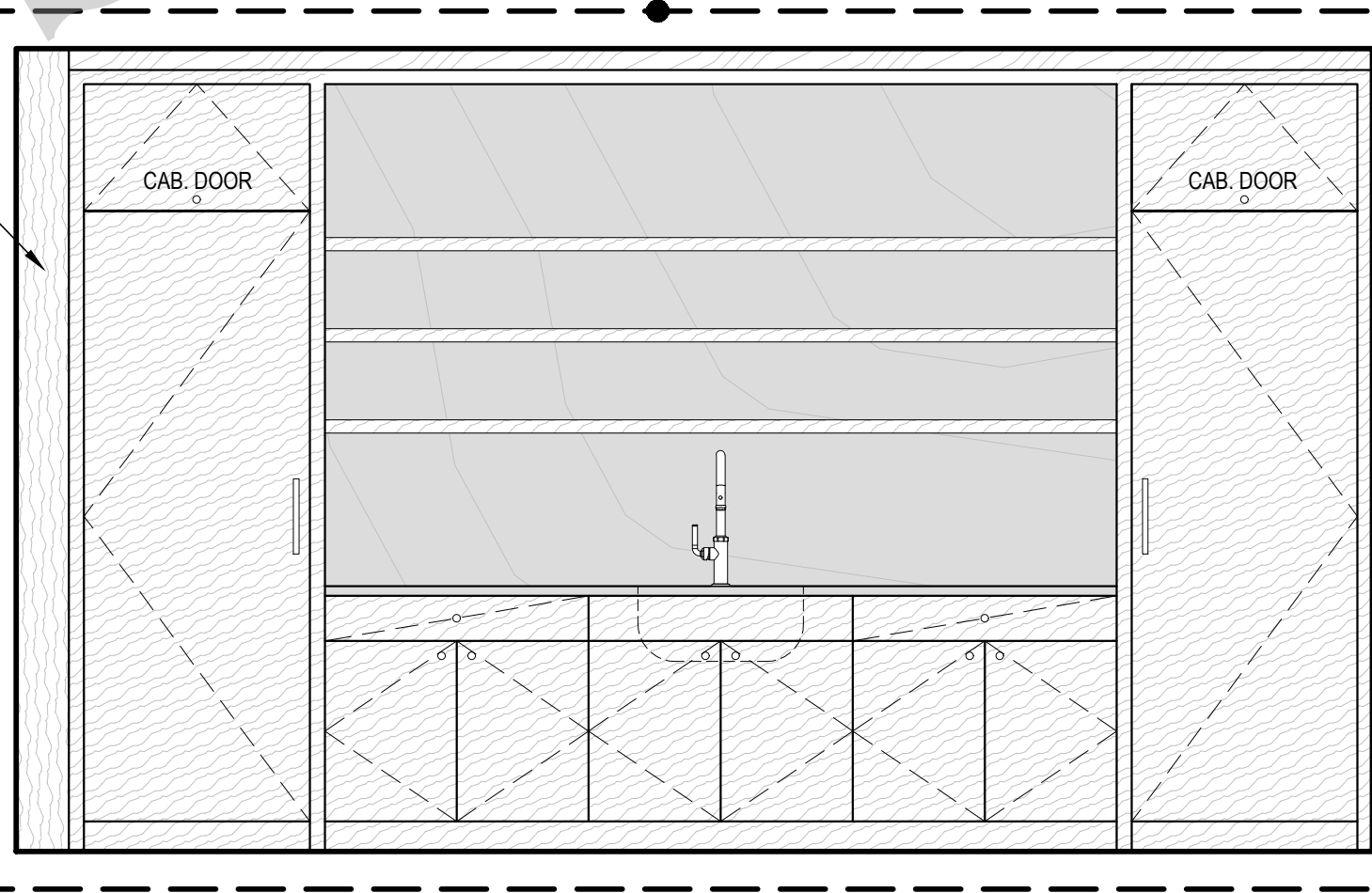
- REFER TO STONE & TILE SCHEDULE FOR ALL STONE & TILE SPECIFICATIONS.
- REFER TO PLUMBING FIXTURE & FITTING SCHEDULE FOR ALL PLUMBING SPECIFICATIONS.
- REFER TO BATHROOM ACCESSORIES SCHEDULE FOR ALL ACCESSORY SPECIFICATIONS. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED FOR PROPER ATTACHMENT. EXACT LOCATION OF ALL BATHROOM ACCESSORIES TO BE REVIEWED ON SITE WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
- DECORATIVE WALL SCONCE FIXTURES & FRAMED MIRRORS TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. EXACT LOCATIONS TO BE REVIEWED ON SITE WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL BUILT-IN CABINETY UNITS, SUCH AS CUSTOM VANITIES & MEDICINE CABINETS, ETC.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS & PHOTO LAYOUTS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL STONE SLAB PIECES, SUCH AS SHOWER JAMBS, SILLS, NICHE, BENCHES, COUNTERTOPS, FLOORING, ETC.
- CONTRACTOR TO REVIEW ALL TILE LAYOUTS, GROUT JOINTS & COLORS, AND DETAILS WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL CUSTOM CABINETY & BUILT-IN MILLWORK.



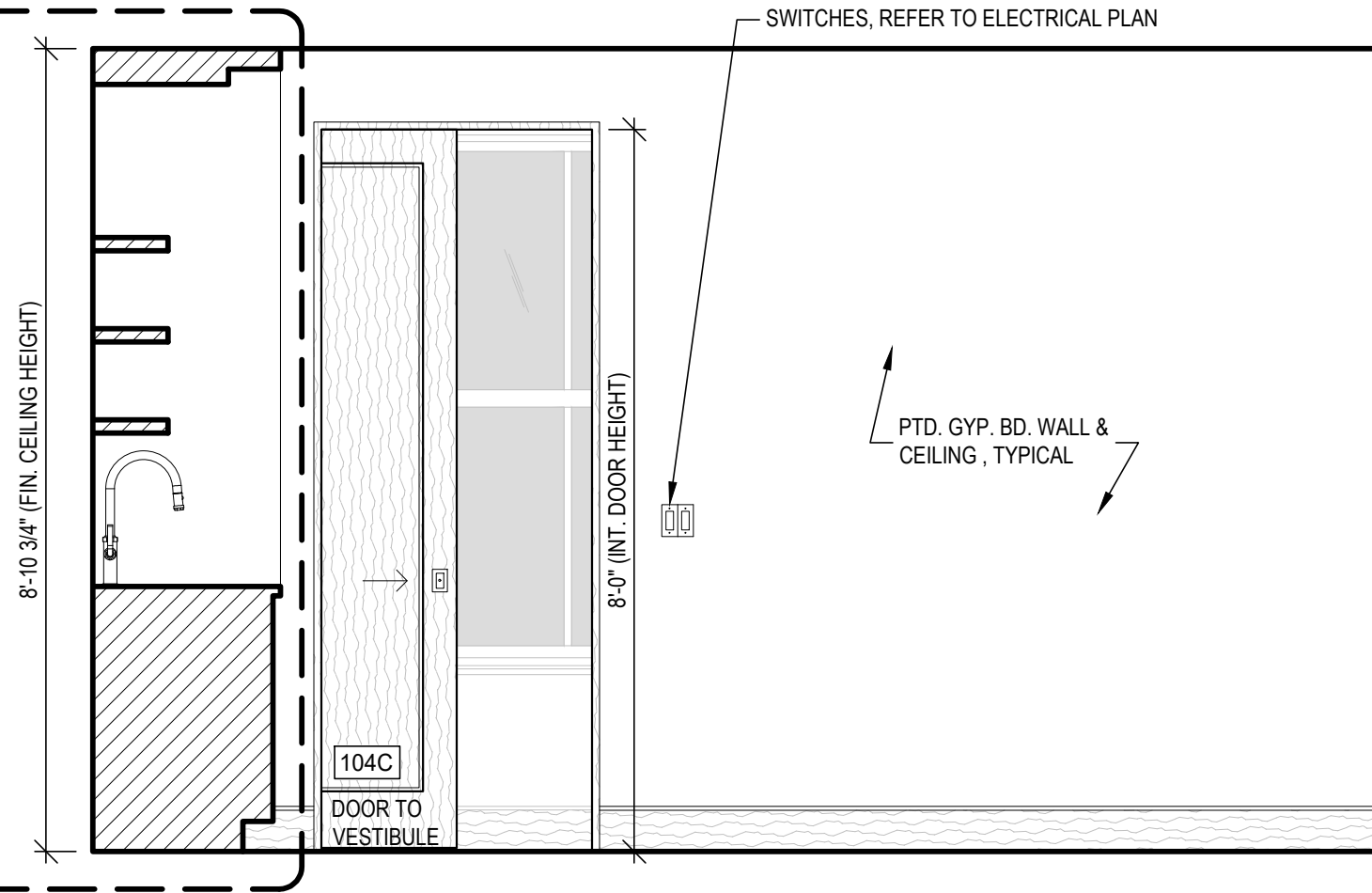
5 PROPOSED BATH #5 PLAN
A-403
1/2" = 1'-0"



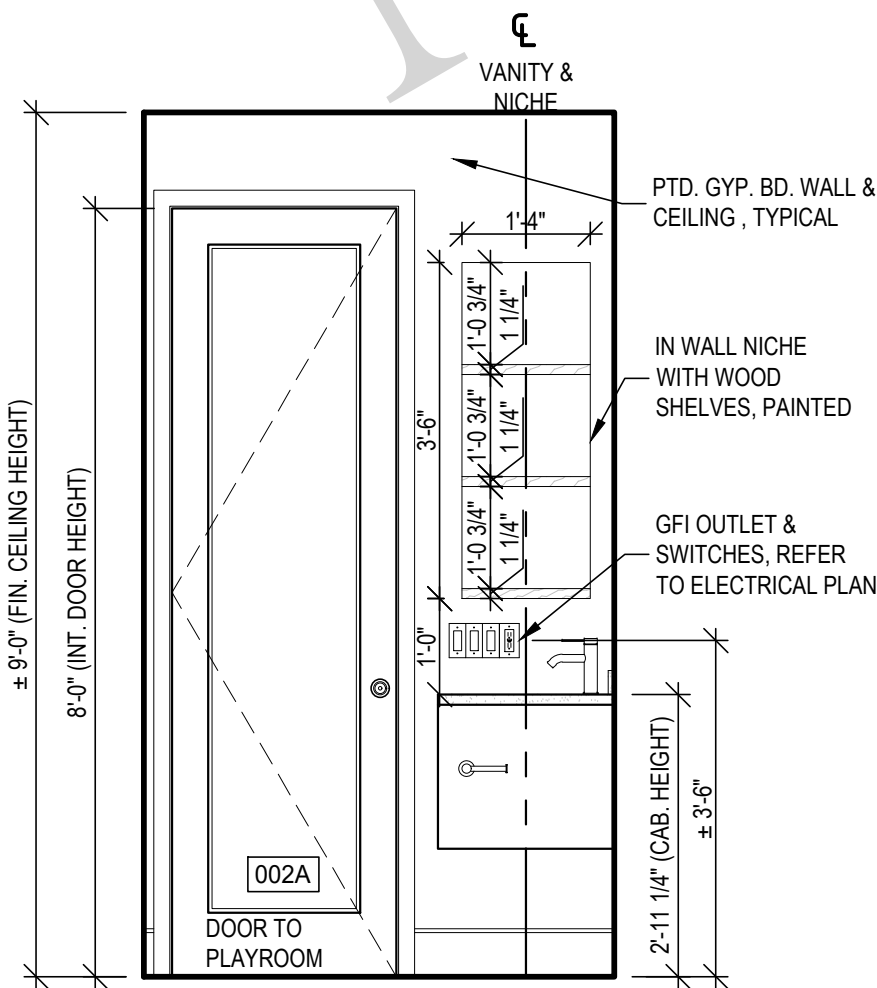
3 PROPOSED DINING ROOM ELEVATION
A-403
1/2" = 1'-0"



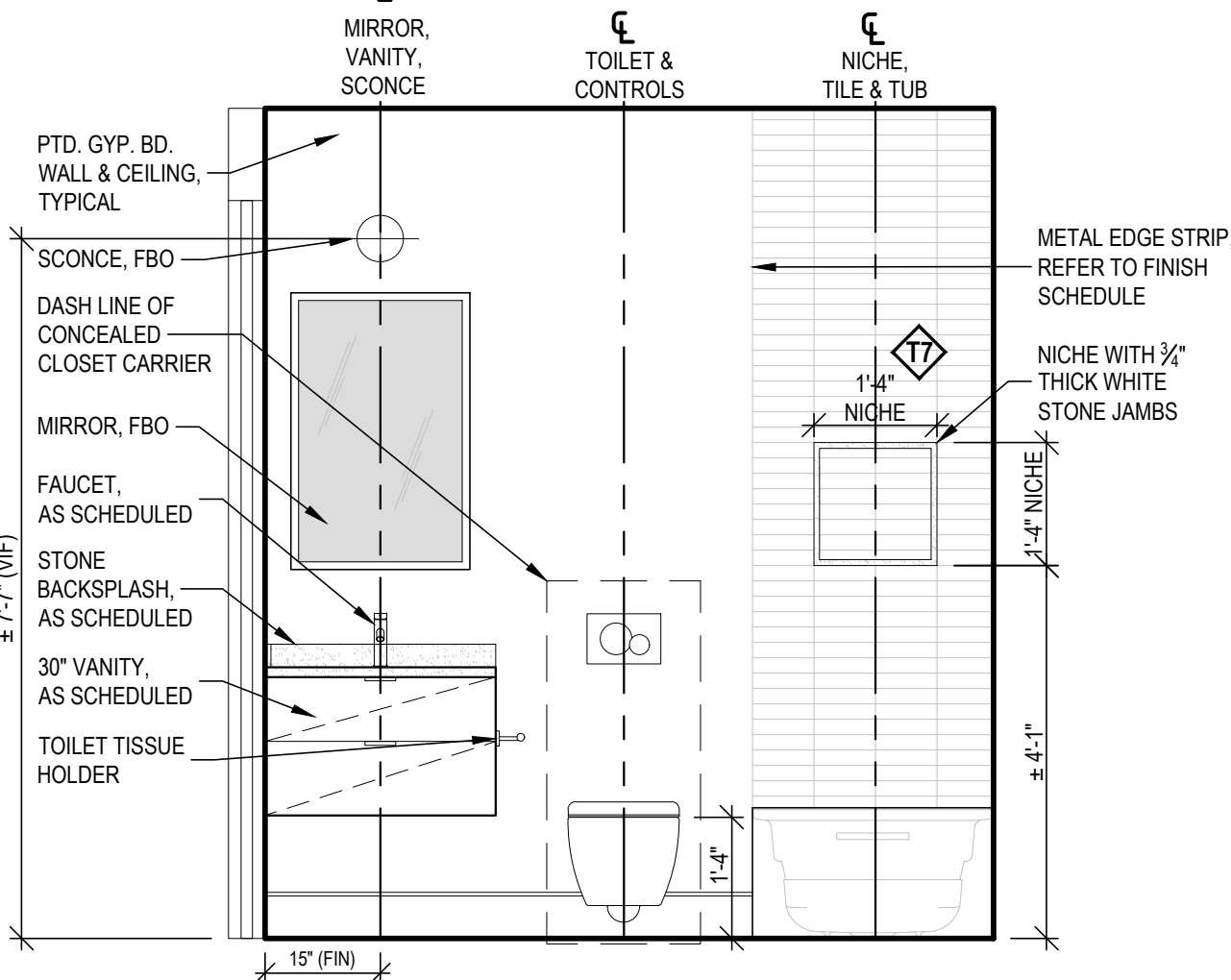
3 PROPOSED DINING ROOM ELEVATION
A-403
1/2" = 1'-0"



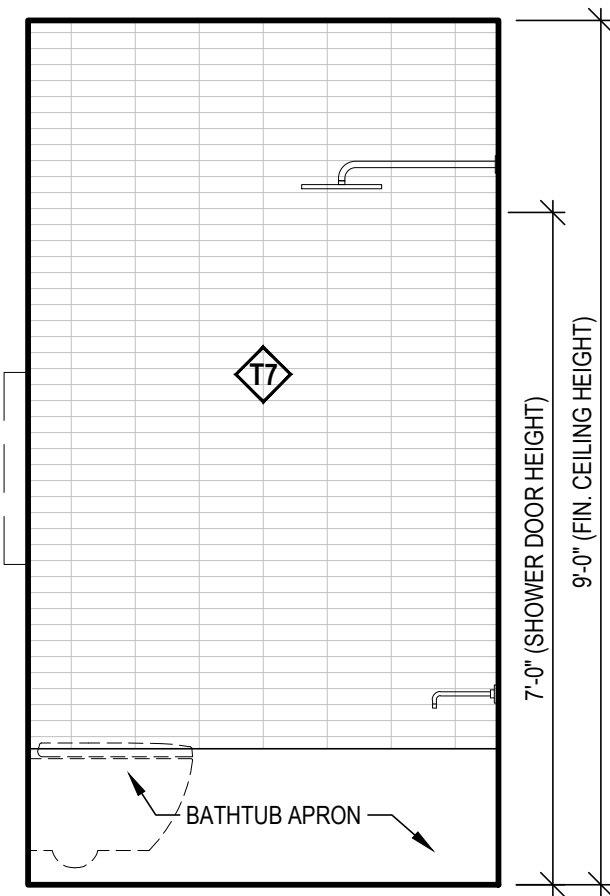
4 PROPOSED DINING ROOM ELEVATION
A-403
1/2" = 1'-0"



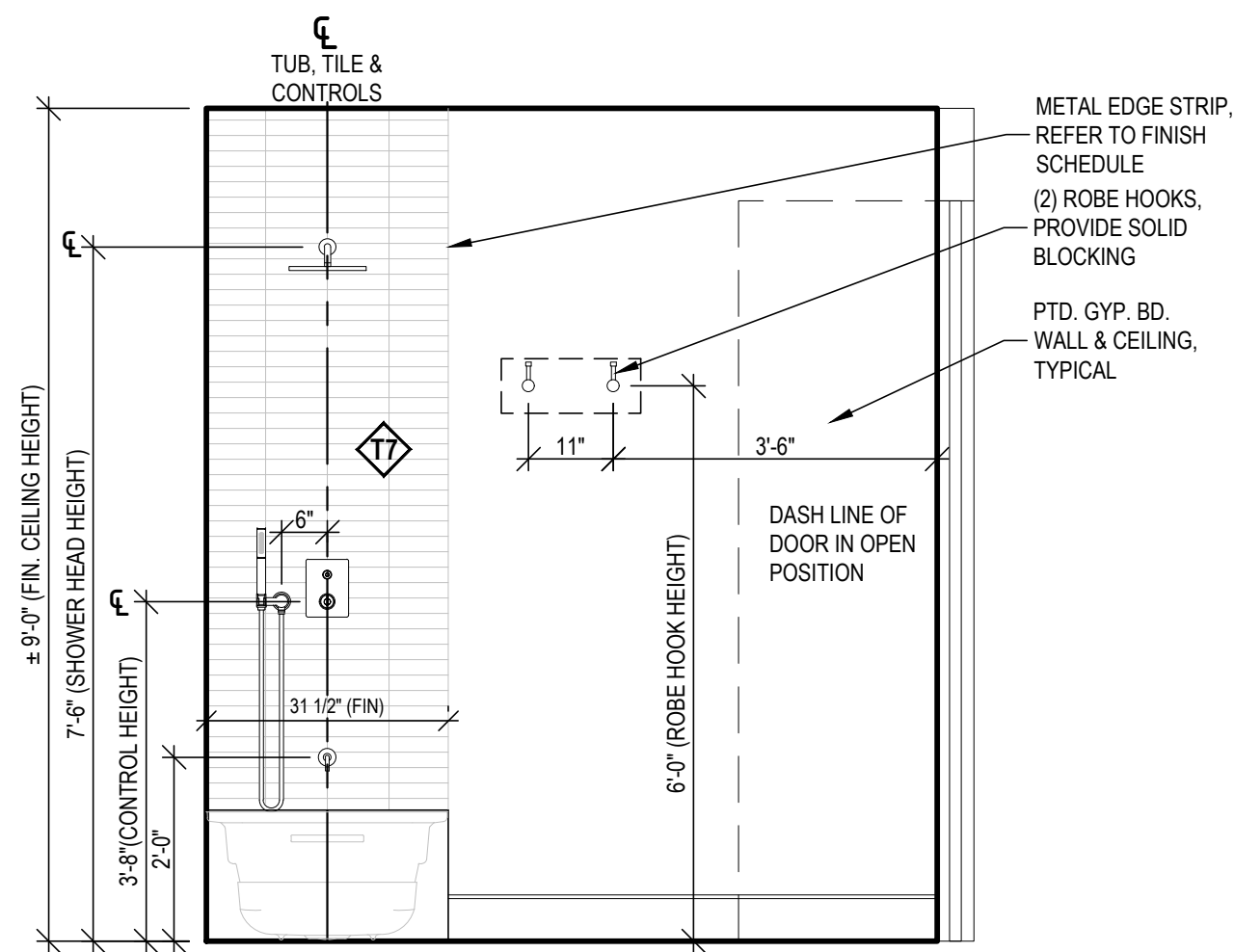
6 PROPOSED BATH #5 ELEVATION
A-403
1/2" = 1'-0"



7 PROPOSED BATH #5 ELEVATION
A-403
1/2" = 1'-0"



8 PROPOSED BATH #5 ELEVATION
A-403
1/2" = 1'-0"



9 PROPOSED BATH #5 ELEVATION
A-403
1/2" = 1'-0"

TILE WALLS & FLOORING:
SEE STONE & TILE SCHEDULE ON SHEET
A-110 FOR SPECIFICATIONS.

SEAL

ARCHITECT

JOSEPH PAGAC
ARCHITECT P.C.

JPA

16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209

DATE: 7/27/22

DRAWN BY: CD CHECKED BY: JP

DRAWING TITLE

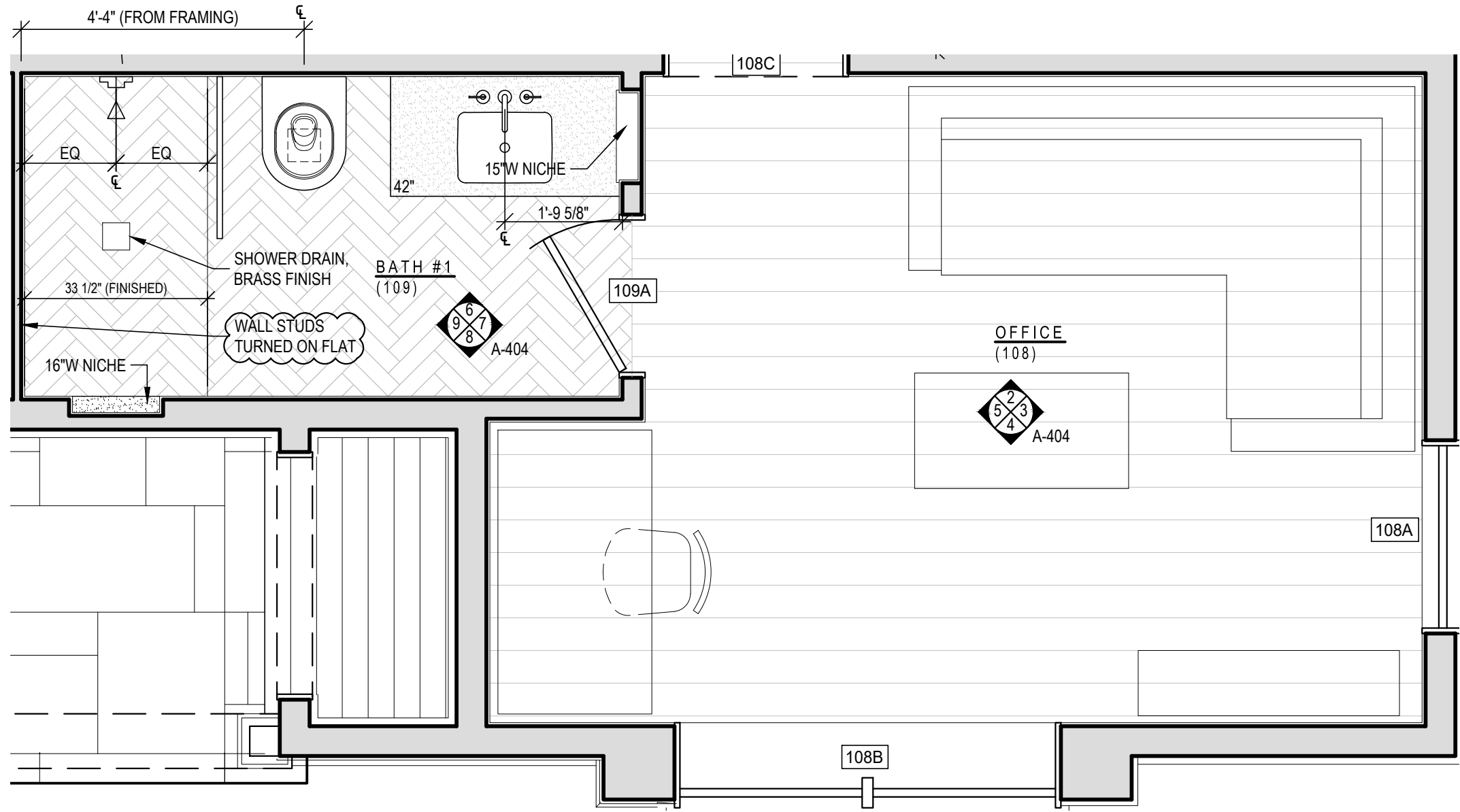
PROPOSED INTERIOR
ELEVATIONS - DINING
ROOM & BATH #5

SCALE: AS NOTED

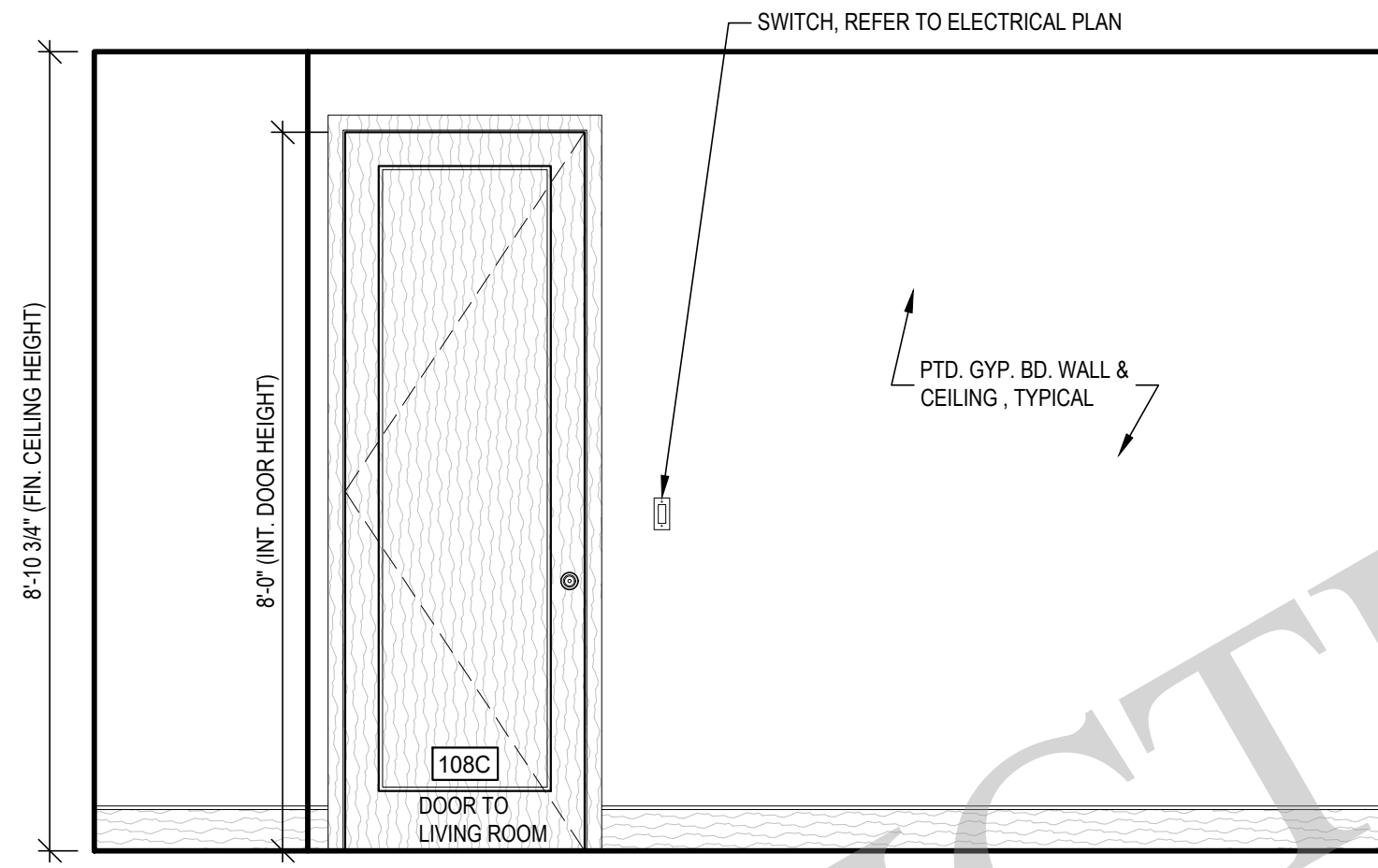
A-403

© JOSEPH PAGAC ARCHITECT PC

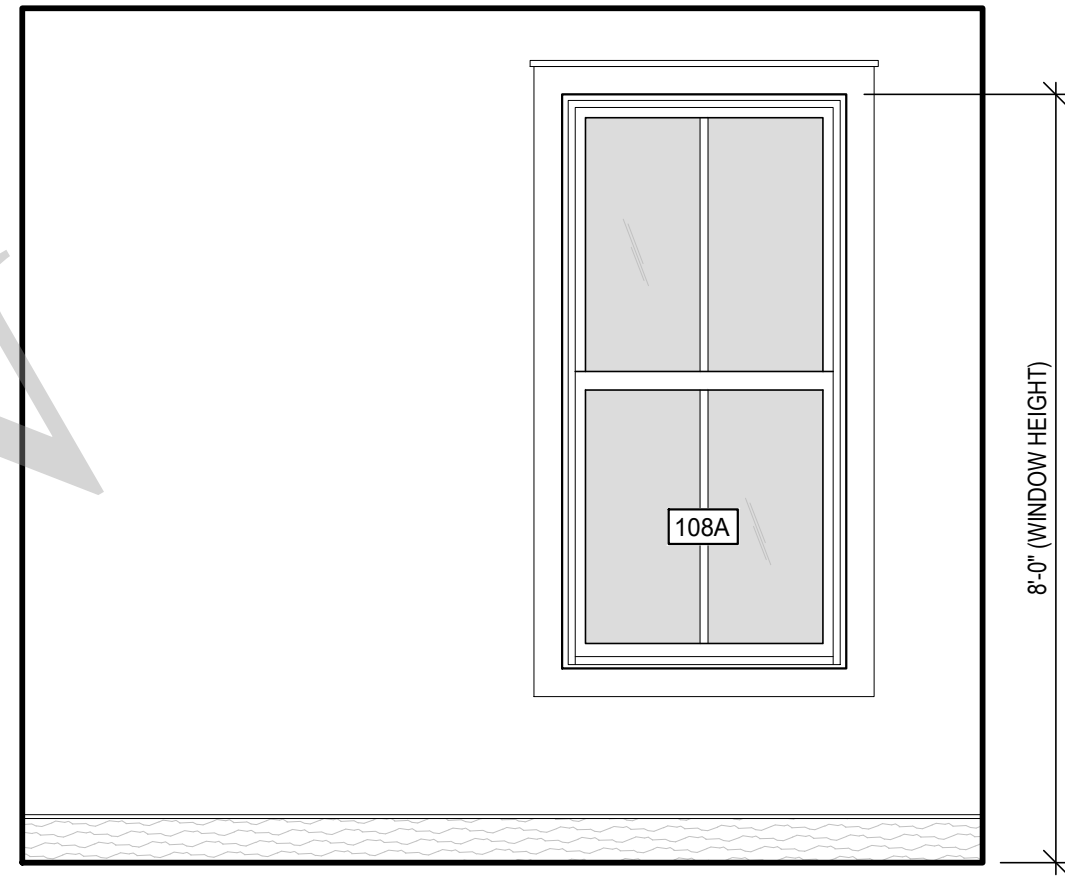
FILE NAME C:\Users\16318\Dropbox\JPA-CD Share\2209 - YSI\AKDrawings\2209-interior.DWG SAVED ON 2/17/2025 2:55 PM PLOTTED BY CHRISTIAN DISILVESTRE



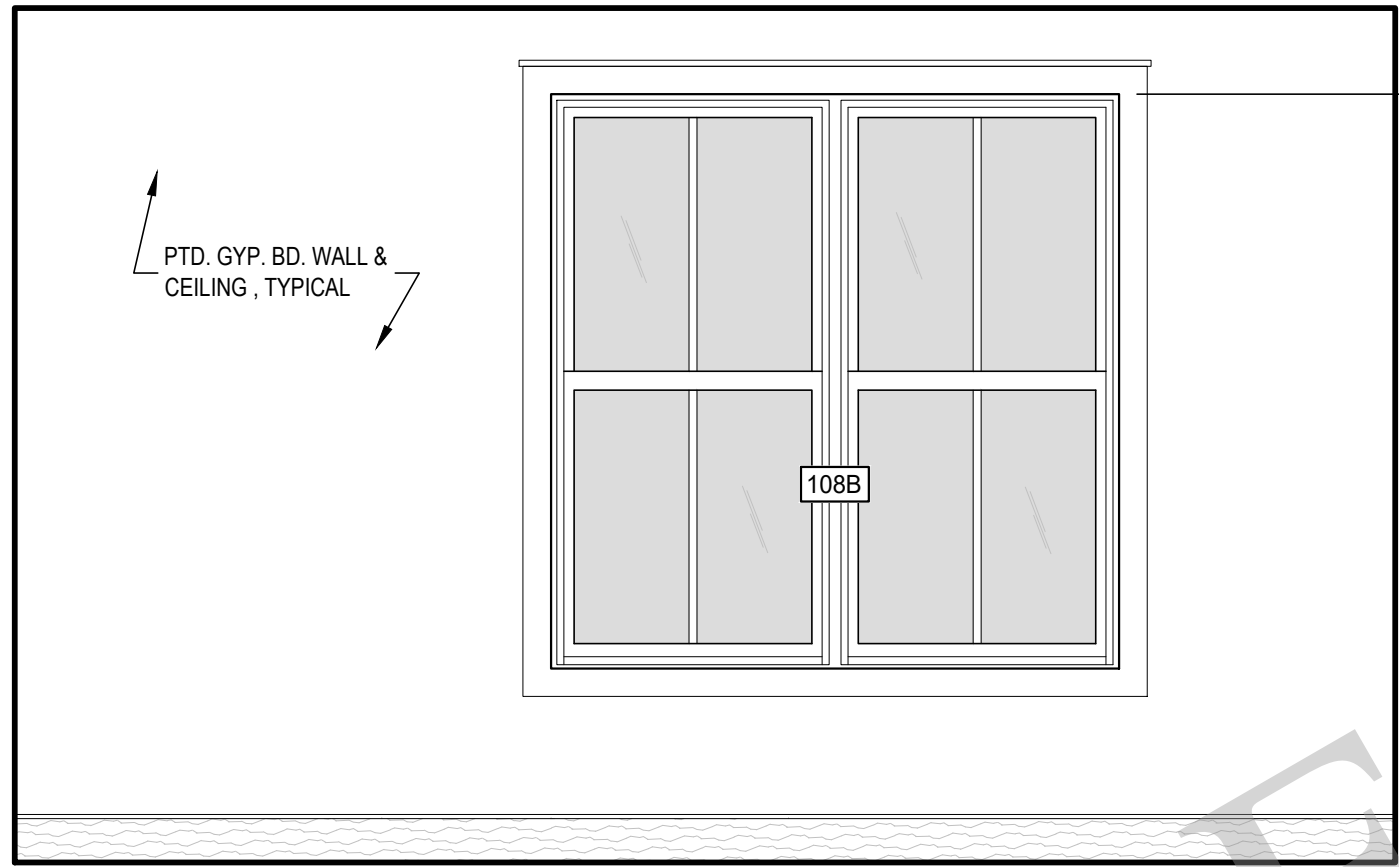
1 PROPOSED OFFICE & BATH #1 PLAN
A-404
1/2" = 1'-0"



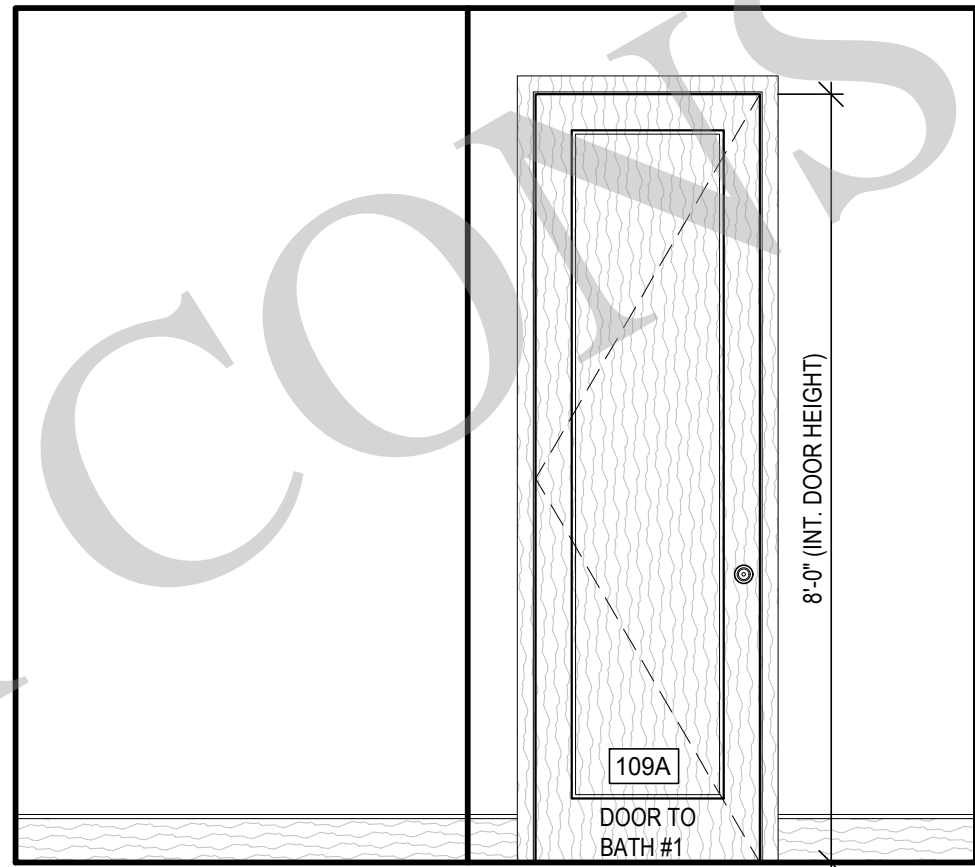
2 PROPOSED OFFICE ELEVATION
A-404
1/2" = 1'-0"



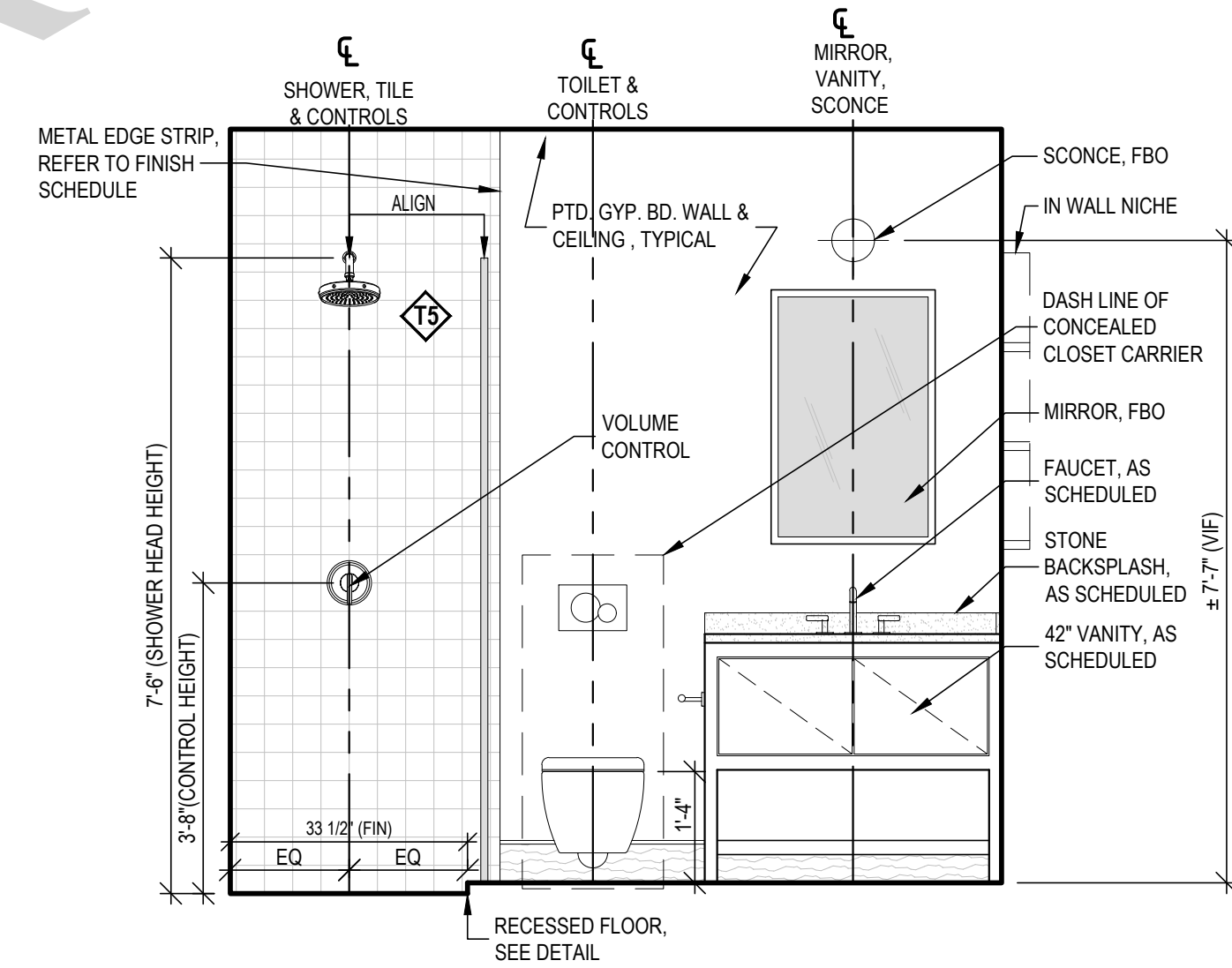
3 PROPOSED OFFICE ELEVATION
A-404
1/2" = 1'-0"



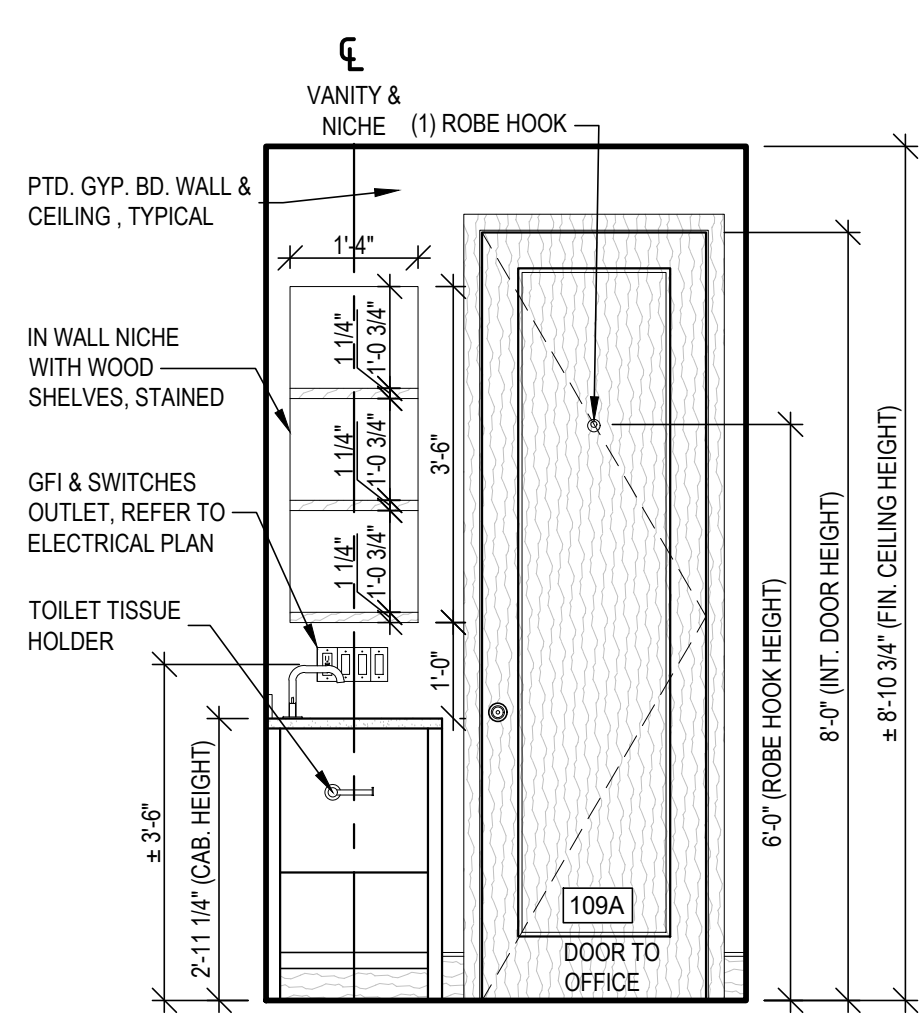
4 PROPOSED OFFICE ELEVATION
A-404
1/2" = 1'-0"



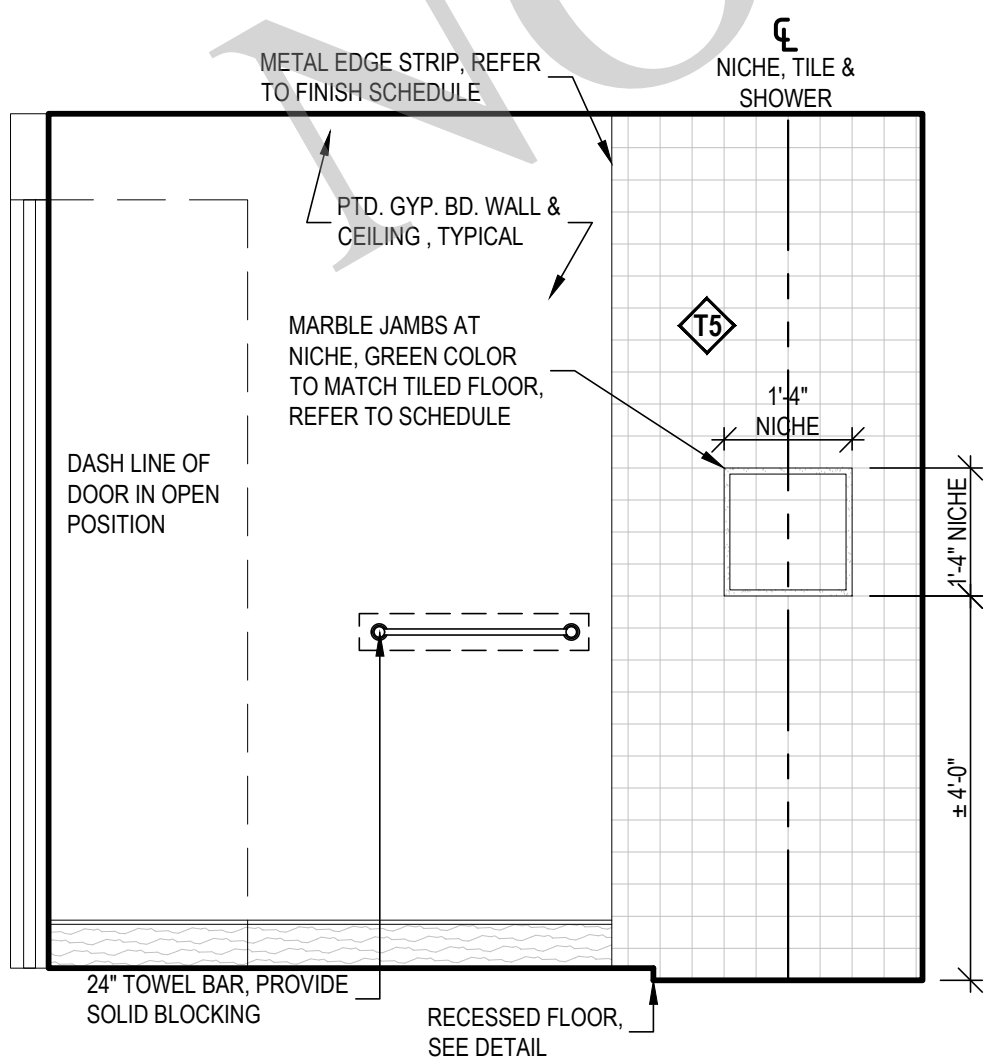
5 PROPOSED OFFICE ELEVATION
A-404
1/2" = 1'-0"



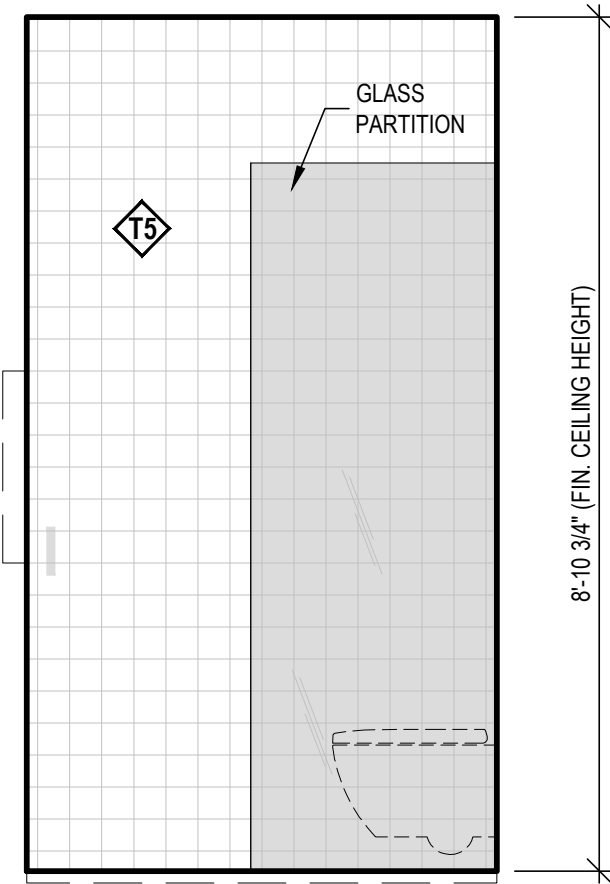
6 PROPOSED BATH #1 ELEVATION
A-404
1/2" = 1'-0"



7 PROPOSED BATH #1 ELEVATION
A-404
1/2" = 1'-0"



8 PROPOSED BATH #1 ELEVATION
A-404
1/2" = 1'-0"



9 PROPOSED BATH #1 ELEVATION
A-404
1/2" = 1'-0"

TILE WALLS & FLOORING:
SEE STONE & TILE SCHEDULE ON SHEET
A-110 FOR SPECIFICATIONS.

NOTES:
CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD
AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE
ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

- GENERAL BATHROOM NOTES:**
- REFER TO STONE & TILE SCHEDULE FOR ALL STONE & TILE SPECIFICATIONS.
 - REFER TO PLUMBING FIXTURE & FITTING SCHEDULE FOR ALL PLUMBING SPECIFICATIONS.
 - REFER TO BATHROOM ACCESSORIES SCHEDULE FOR ALL ACCESSORY SPECIFICATIONS. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED FOR PROPER ATTACHMENT. EXACT LOCATION OF ALL BATHROOM ACCESSORIES TO BE REVIEWED ON SITE WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
 - DECORATIVE WALL SCONCE FIXTURES & FRAMED MIRRORS TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. EXACT LOCATIONS TO BE REVIEWED ON SITE WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL BUILT-IN CABINETRY UNITS, SUCH AS CUSTOM VANITIES & MEDICINE CABINETS, ETC.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS & PHOTO LAYOUTS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL STONE SLAB PIECES, SUCH AS SHOWER JAMBS, SILLS, NICHES, BENCHES, COUNTERTOPS, FLOORING, ETC.
 - CONTRACTOR TO REVIEW ALL TILE LAYOUTS, GROUT JOINTS & COLORS, AND DETAILS WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECTS REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL CUSTOM CABINETRY & BUILT-IN MILLWORK.

SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

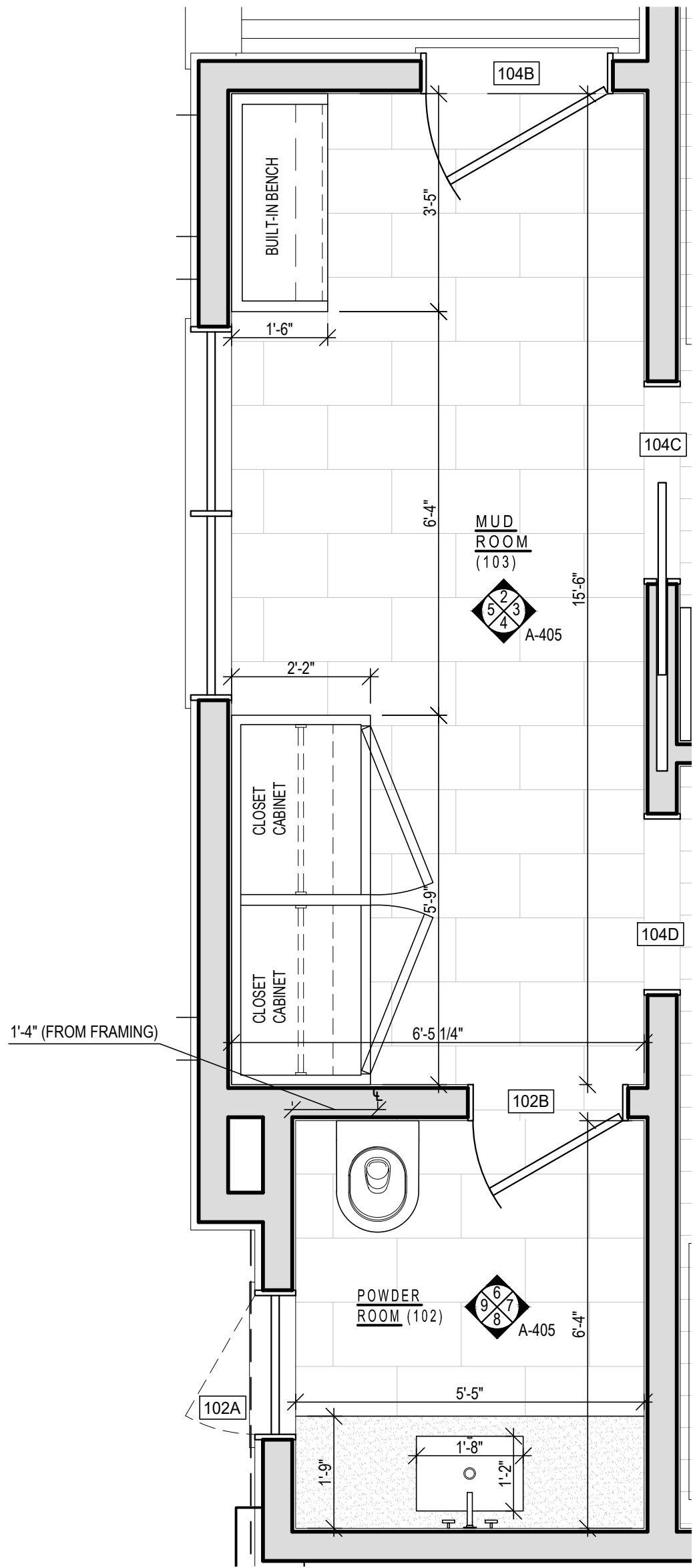
PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

**PROPOSED INTERIOR
ELEVATIONS - OFFICE
& BATH #1**

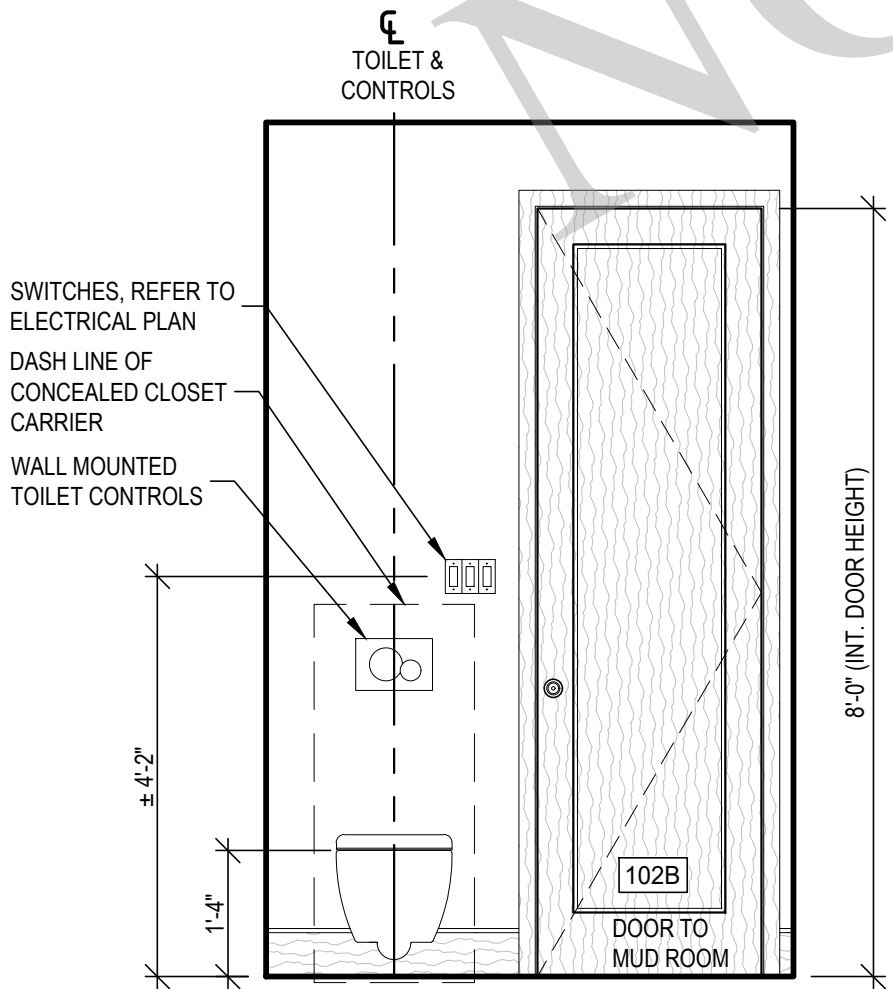
SCALE: AS NOTED

A-404

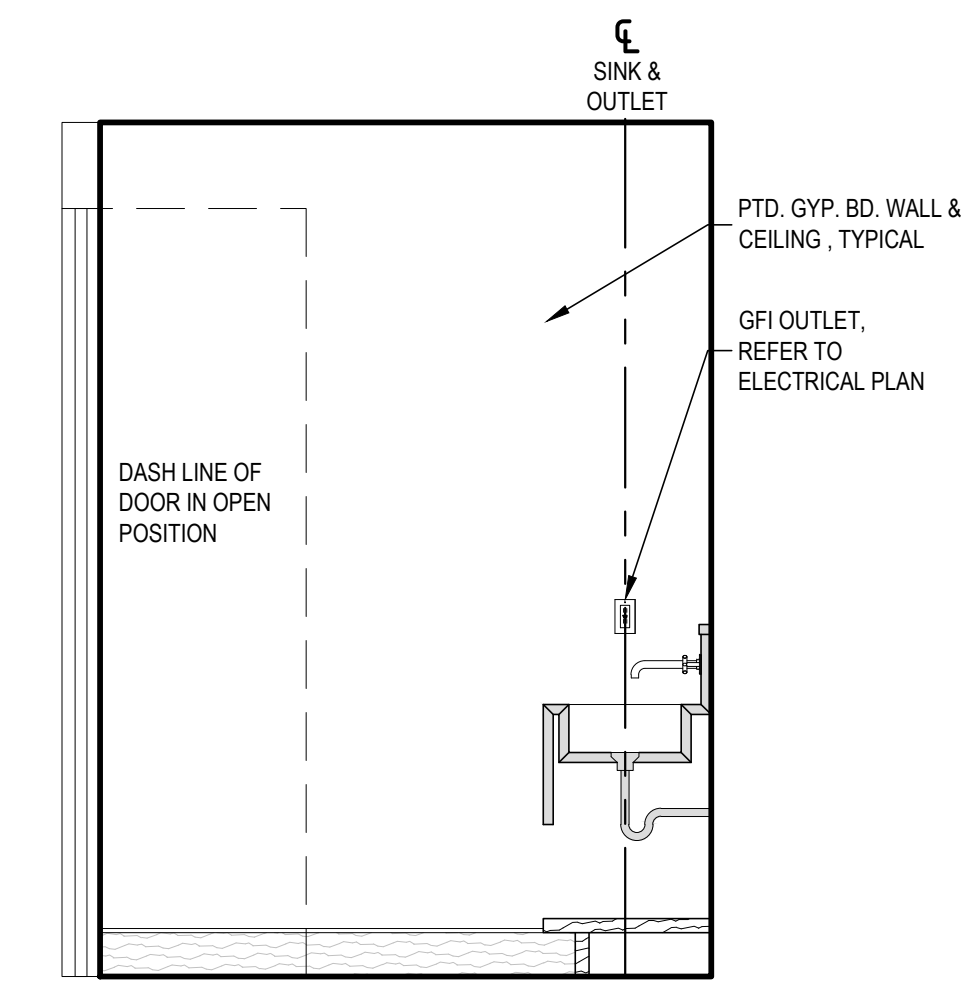
© JOSEPH PAGAC ARCHITECT PC



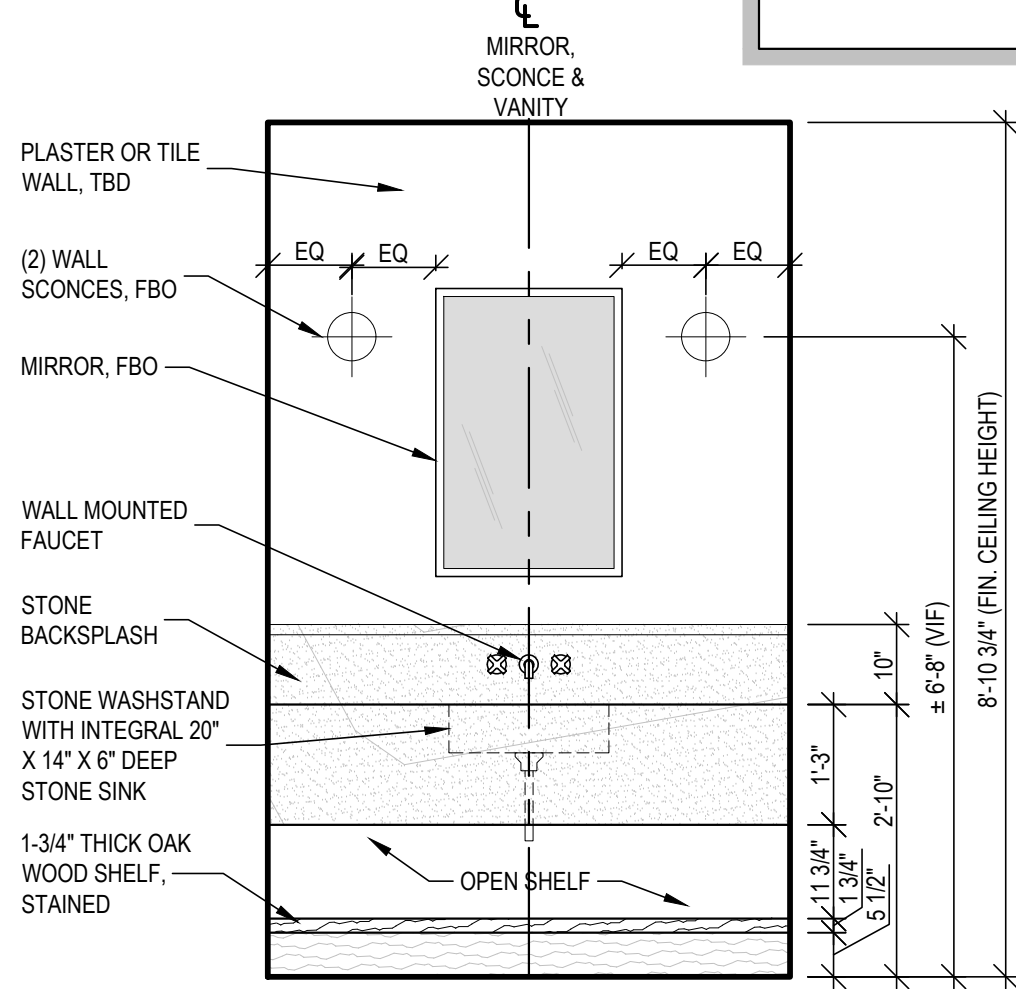
1 PROPOSED VESTIBULE, MUD & POWDER ROOM PLAN
A-405 1/2" = 1'-0"



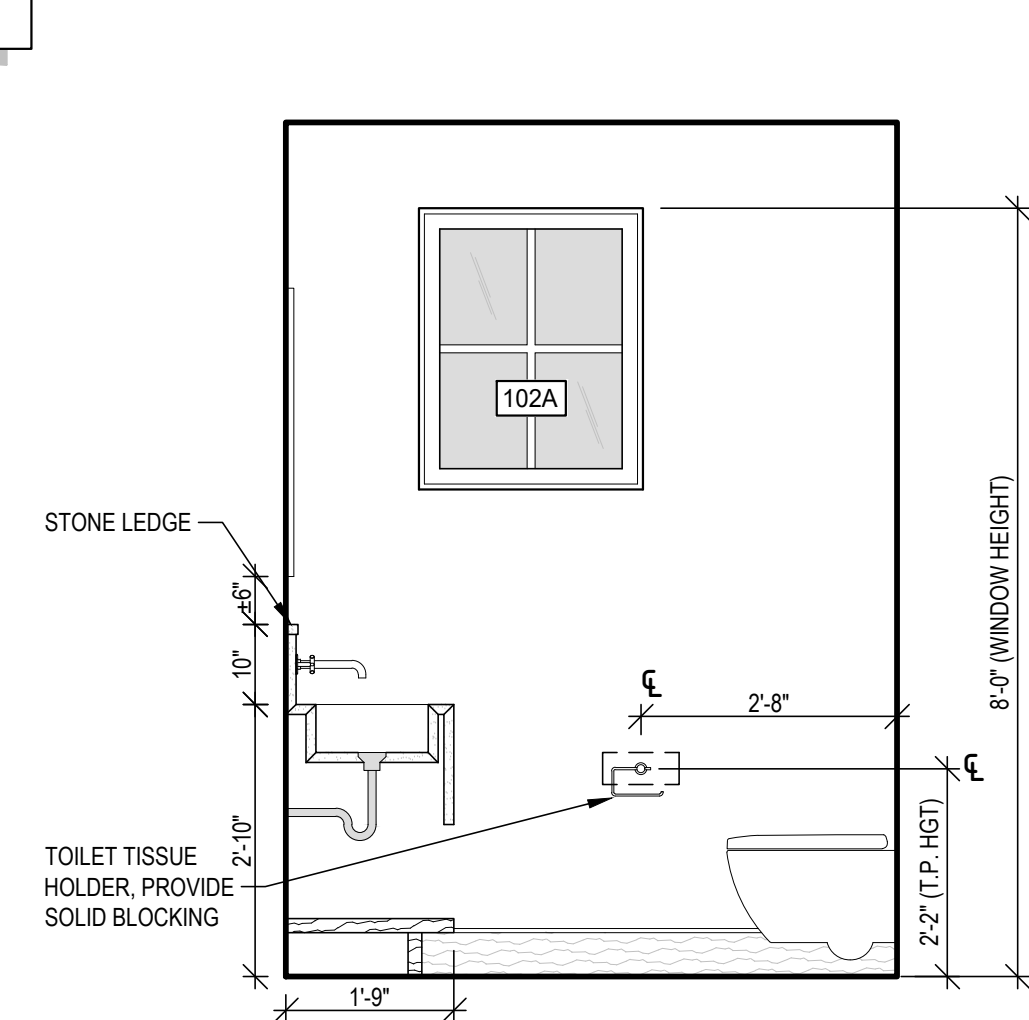
6 PROPOSED POWDER ROOM ELEVATION
A-405 1/2" = 1'-0"



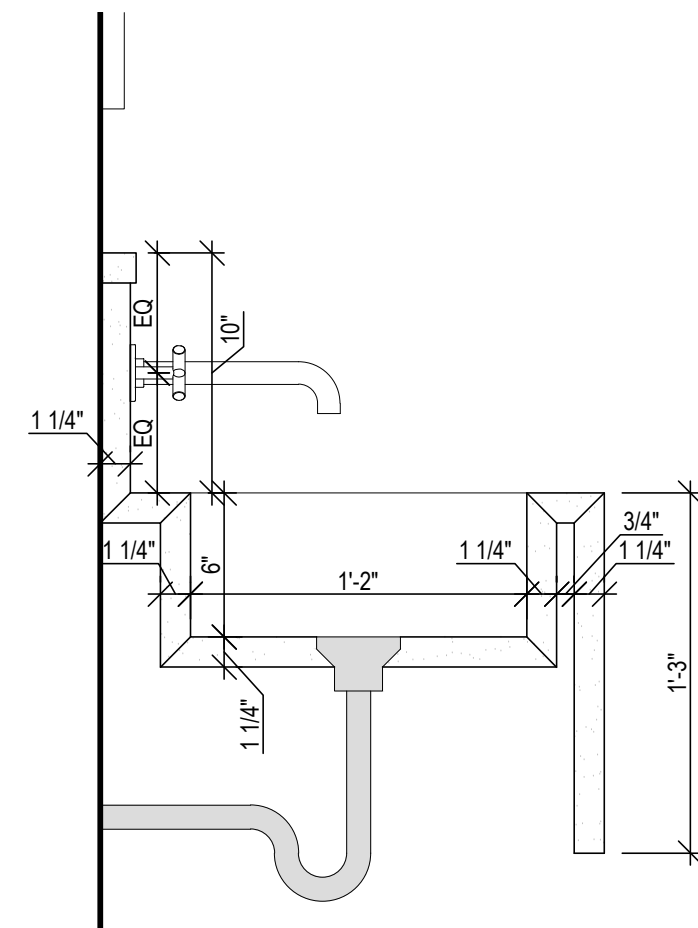
7 PROPOSED POWDER ROOM ELEVATION
A-405 1/2" = 1'-0"



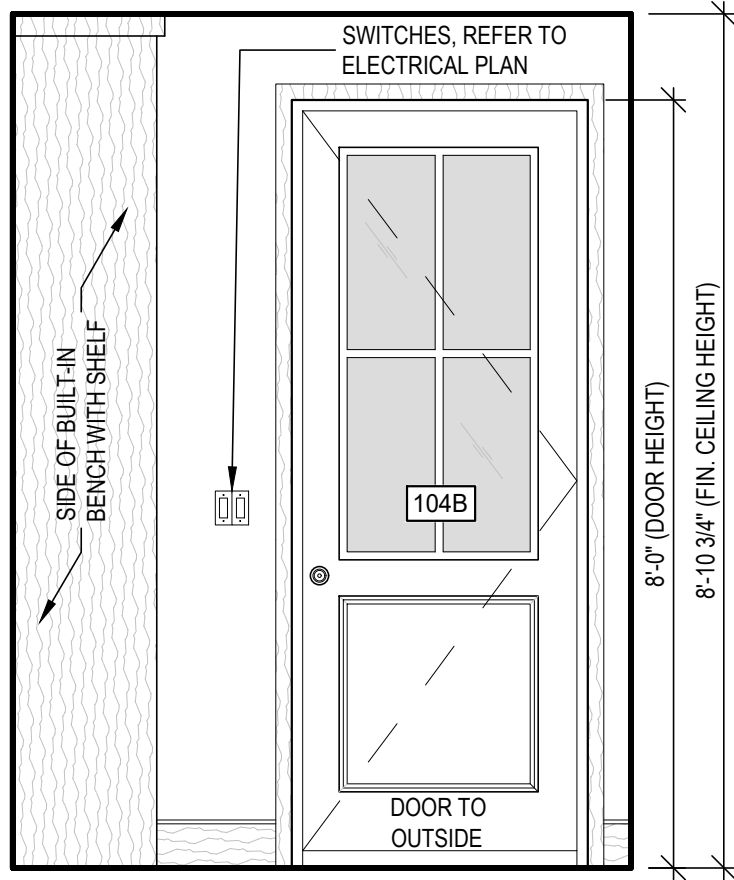
8 PROPOSED POWDER ROOM ELEVATION
A-405 1/2" = 1'-0"



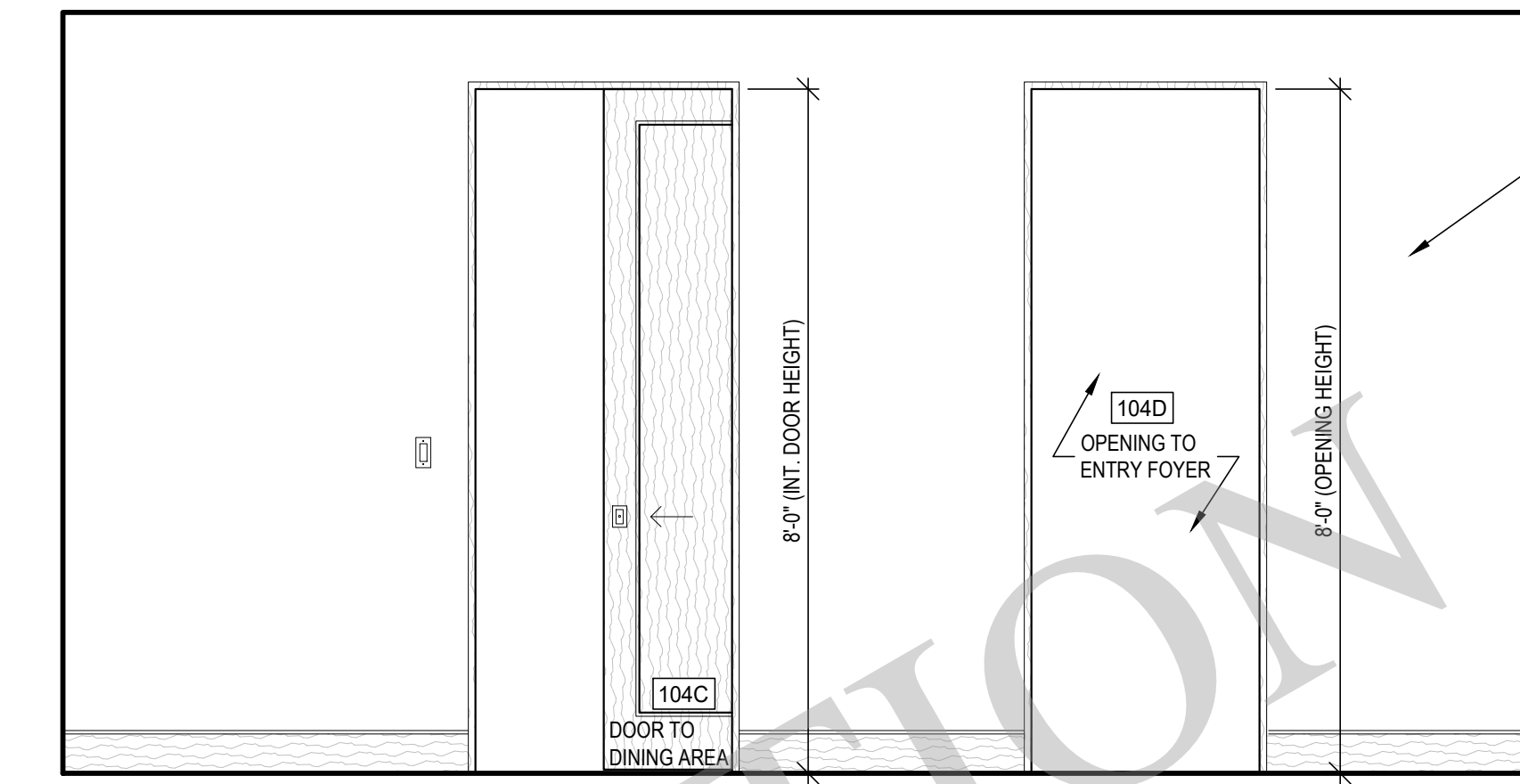
9 PROPOSED POWDER ROOM ELEVATION
A-405 1/2" = 1'-0"



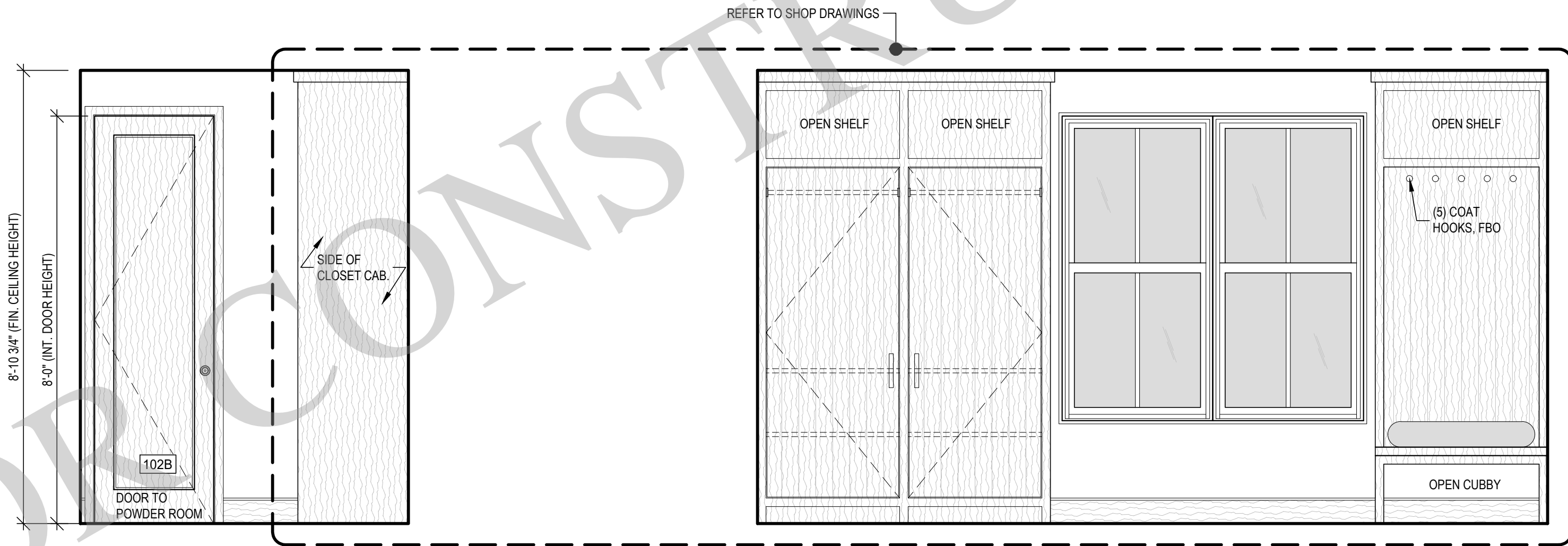
10 P.R. WASHSTAND SECTION
a-405 1-1/2" = 1'-0"



2 PROPOSED VESTIBULE ELEVATION
A-405 1/2" = 1'-0"



3 PROPOSED VESTIBULE ELEVATION
A-405 1/2" = 1'-0"



4 PROPOSED VESTIBULE ELEVATION
A-405 1/2" = 1'-0"

5 PROPOSED VESTIBULE ELEVATION
A-405 1/2" = 1'-0"

TILE WALLS & FLOORING:
SEE STONE & TILE SCHEDULE ON SHEET
A-110 FOR SPECIFICATIONS.

NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD
AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE
ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

GENERAL BATHROOM NOTES:

- REFER TO STONE & TILE SCHEDULE FOR ALL STONE & TILE SPECIFICATIONS.
- REFER TO PLUMBING FIXTURE & FITTING SCHEDULE FOR ALL PLUMBING SPECIFICATIONS.
- REFER TO BATHROOM ACCESSORIES SCHEDULE FOR ALL ACCESSORY SPECIFICATIONS. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED FOR PROPER ATTACHMENT. EXACT LOCATION OF ALL BATHROOM ACCESSORIES TO BE REVIEWED ON SITE WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
- DECORATIVE WALL SCONCE FIXTURES & FRAMED MIRRORS TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. EXACT LOCATIONS TO BE REVIEWED ON SITE WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL BUILT-IN CABINETS, SUCH AS CUSTOM VANITIES & MEDICINE CABINETS, ETC.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS & PHOTO LAYOUTS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL STONE SLAB PIECES, SUCH AS SHOWER JAMBS, SILLS, NICHES, BENCHES, COUNTERTOPS, FLOORING, ETC.
- CONTRACTOR TO REVIEW ALL TILE LAYOUTS, GROUT JOINTS & COLORS, AND DETAILS WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL CUSTOM CABINETS & BUILT-IN MILLWORK.

SEAL

ARCHITECT

JOSEPH PAGAC
ARCHITECT P.C.

JPA

16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209

DATE: 7/27/22

DRAWN BY: CD

CHECKED BY: JP

DRAWING TITLE

PROPOSED INTERIOR
ELEVATIONS - VEST.,
MUD & POWDER ROOM

SCALE: AS NOTED

A-405

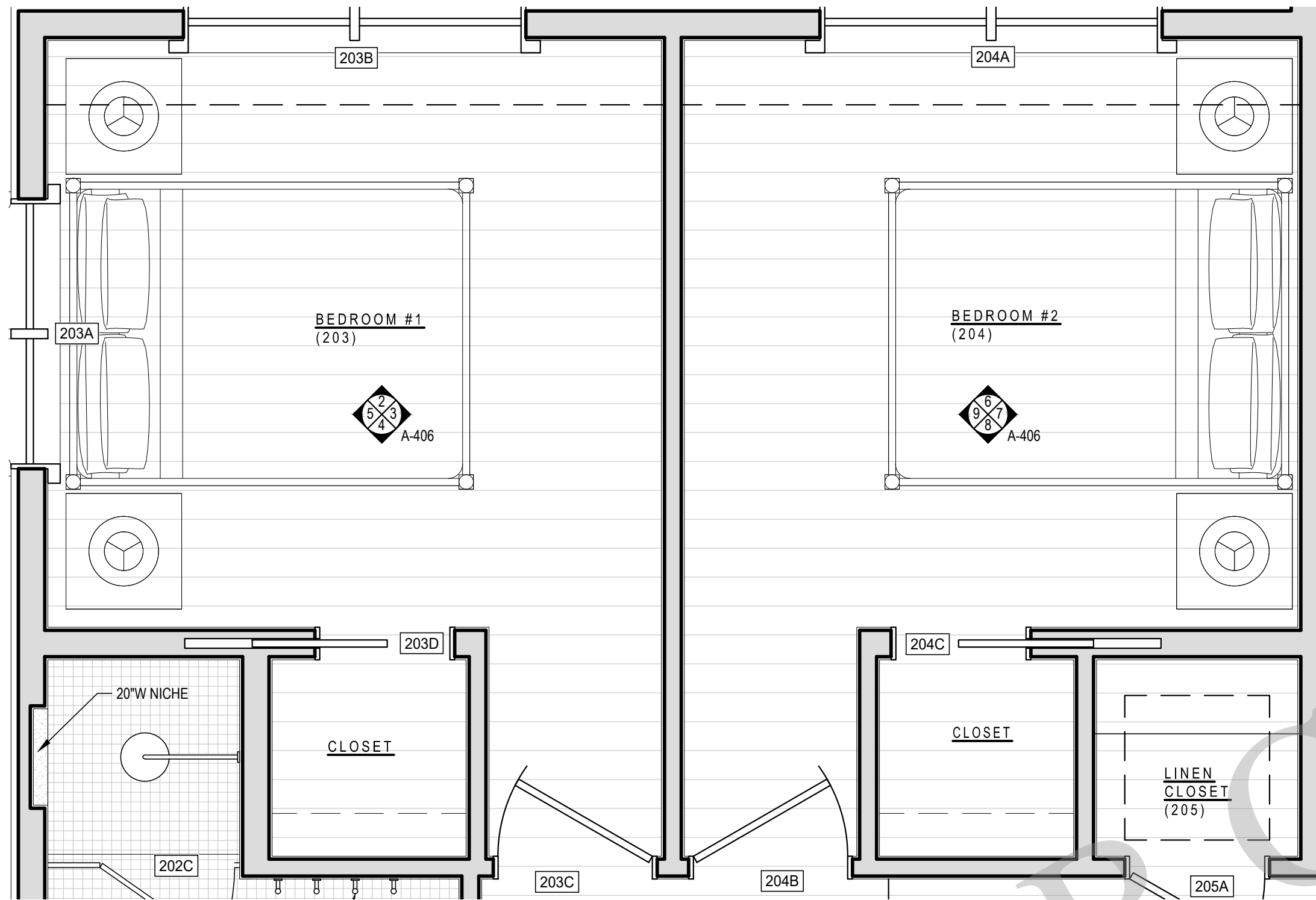
© JOSEPH PAGAC ARCHITECT PC

NOTES:

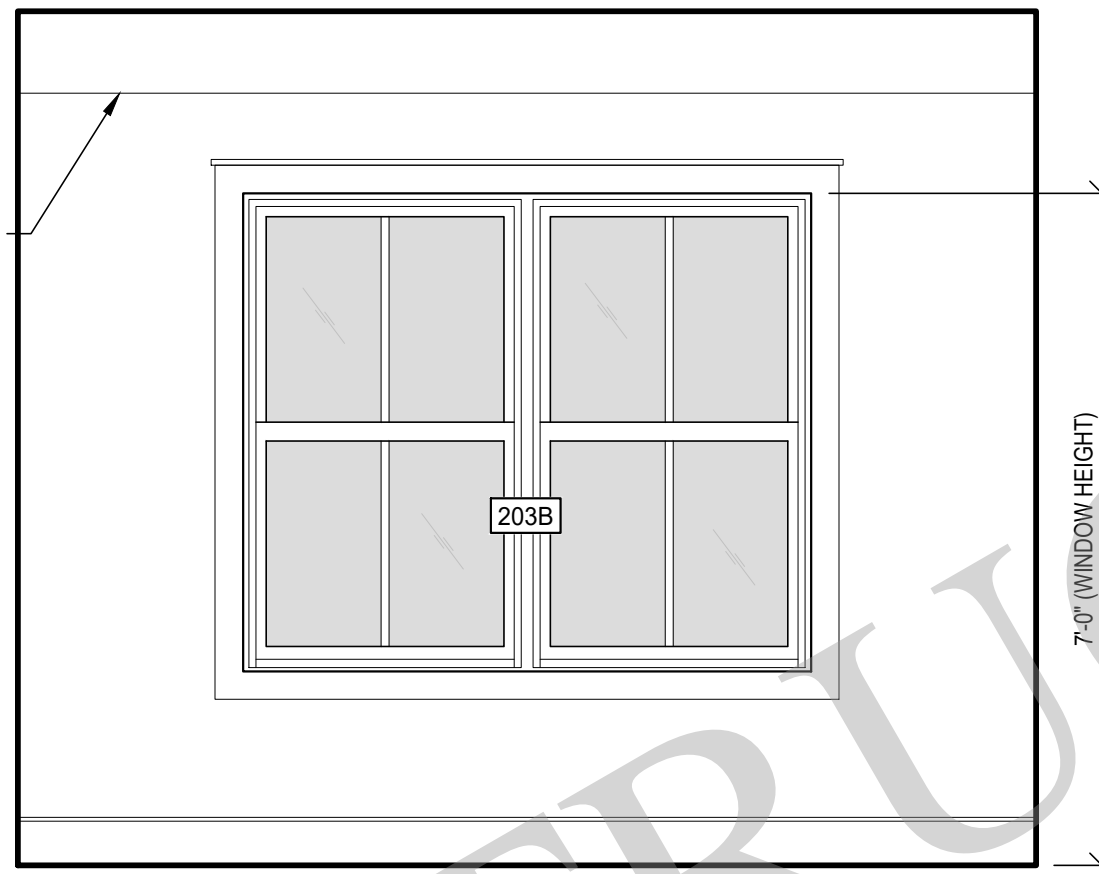
CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD
AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE
ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

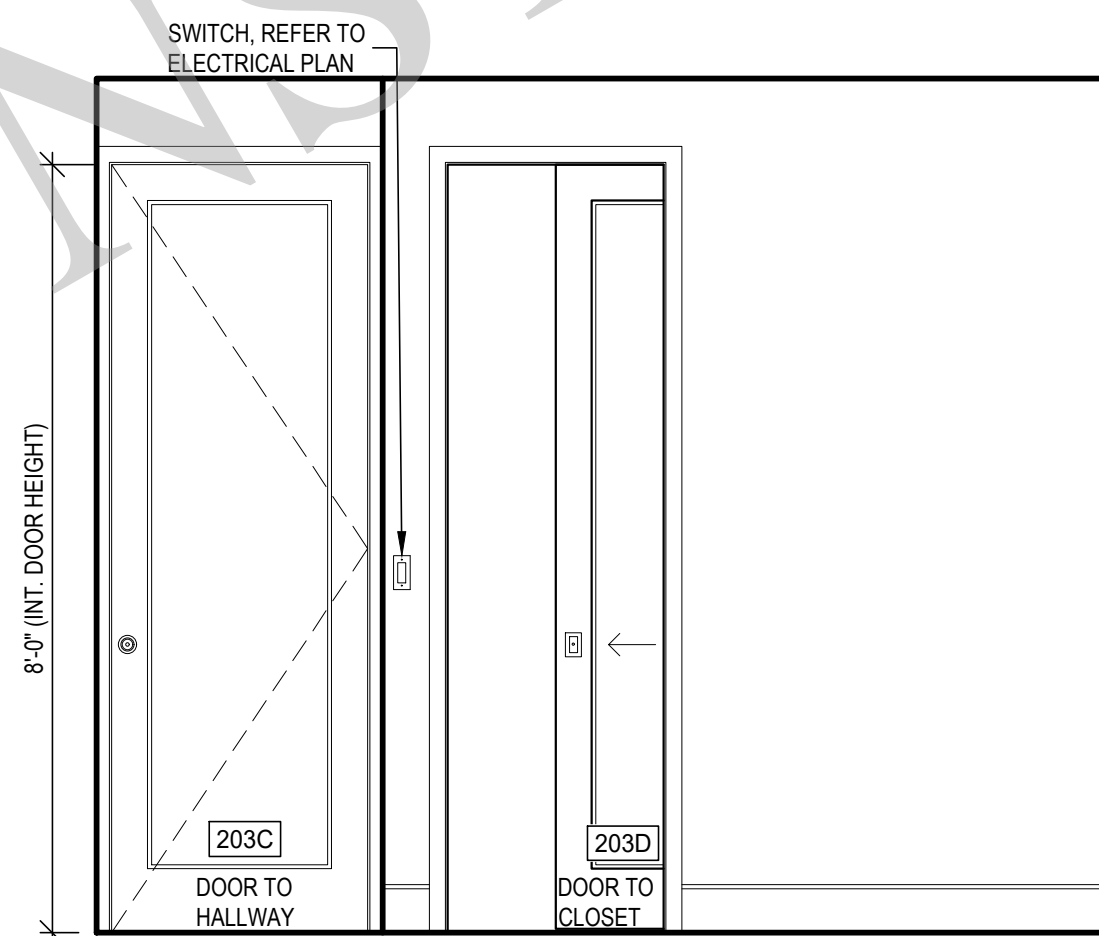
CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM
CABINETY & BUILT-IN MILLWORK BASED ON ACTUAL FIELD
MEASUREMENTS FOR ARCHITECTS REVIEW & APPROVAL PRIOR
TO FABRICATION



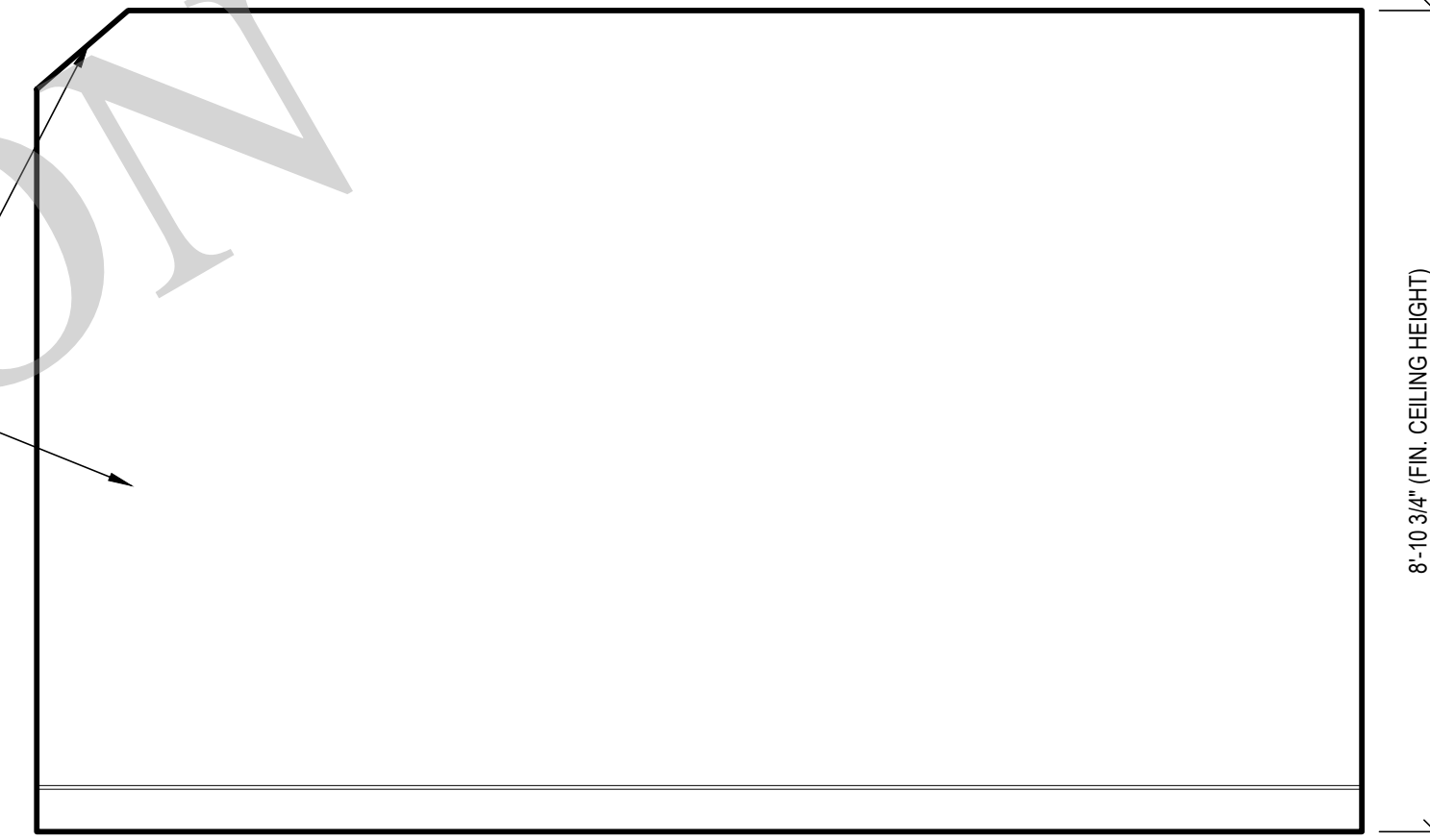
1 PROPOSED BEDROOM #1 & 2 PLAN
A-406 1/2" = 1'-0"



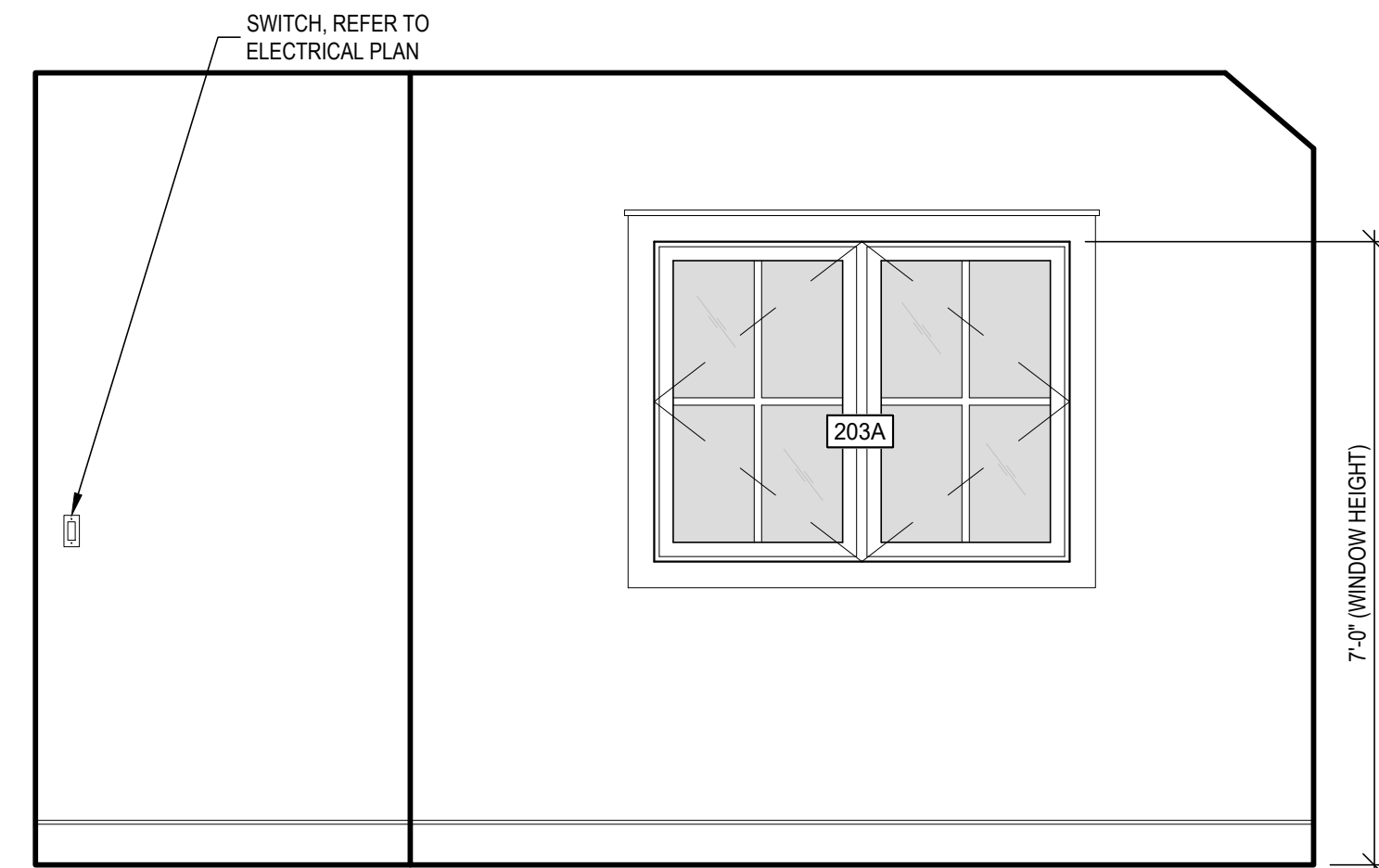
2 PROPOSED BEDROOM #1 ELEVATION
A-406 1/2" = 1'-0"



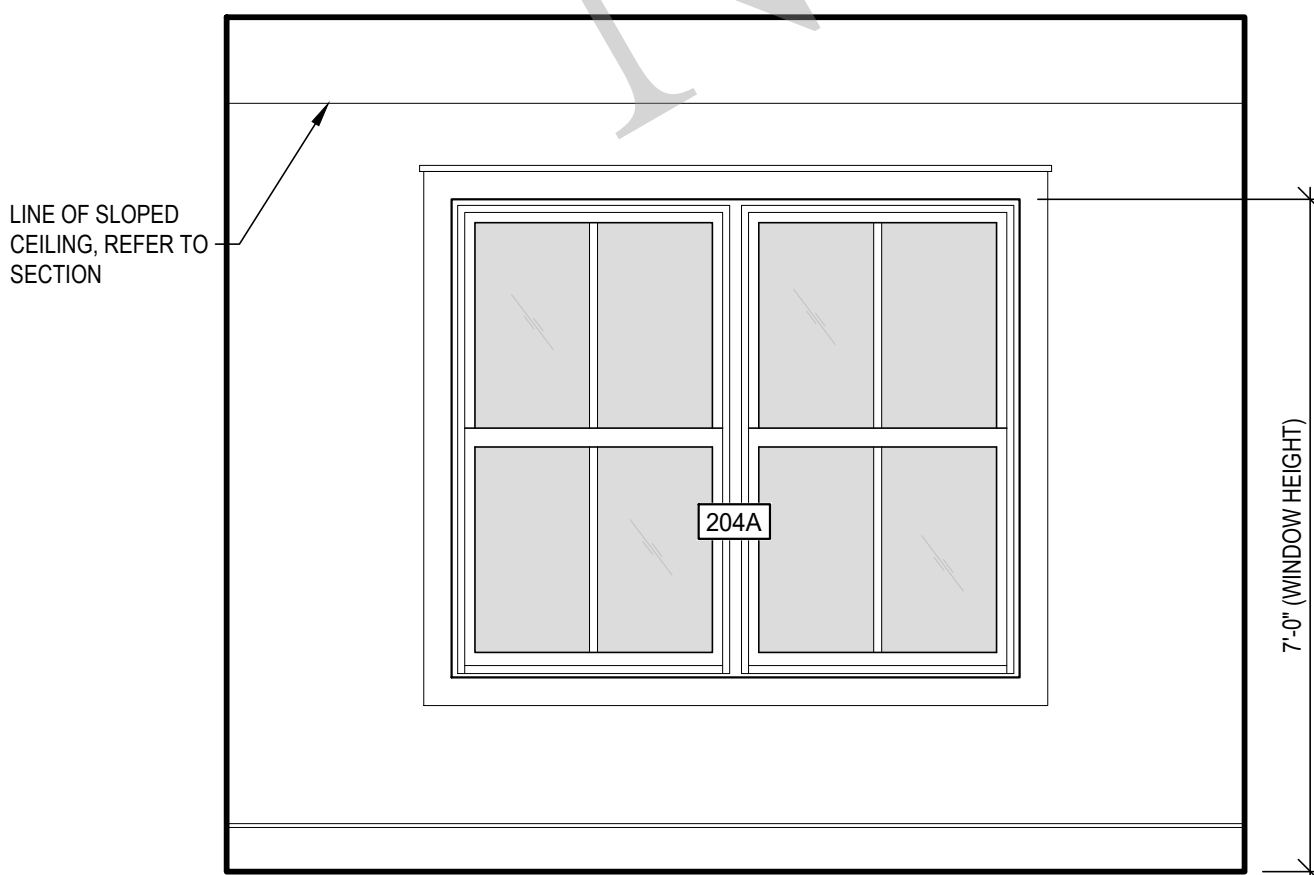
4 PROPOSED BEDROOM #1 ELEVATION
A-406 1/2" = 1'-0"



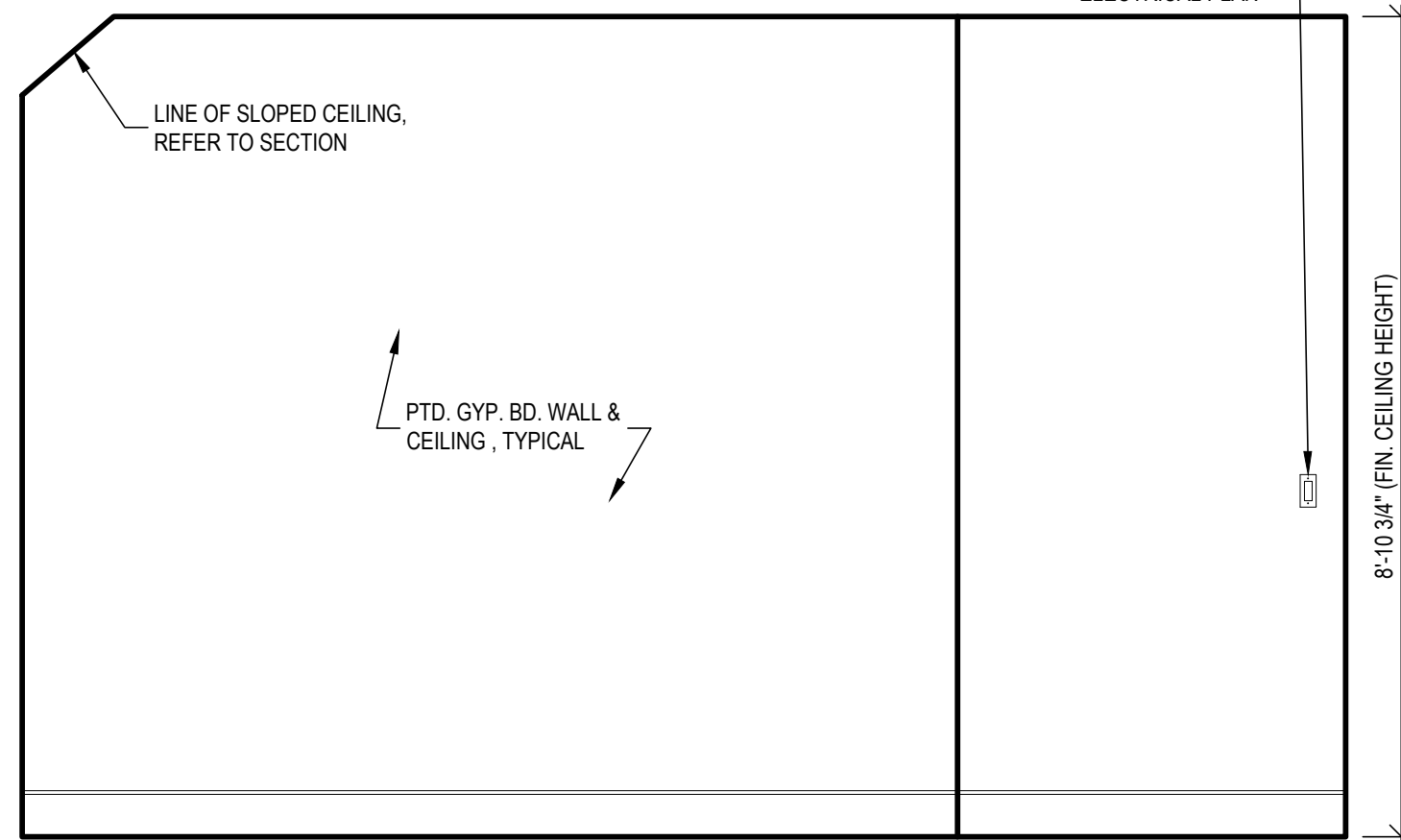
3 PROPOSED BEDROOM #1 ELEVATION
A-406 1/2" = 1'-0"



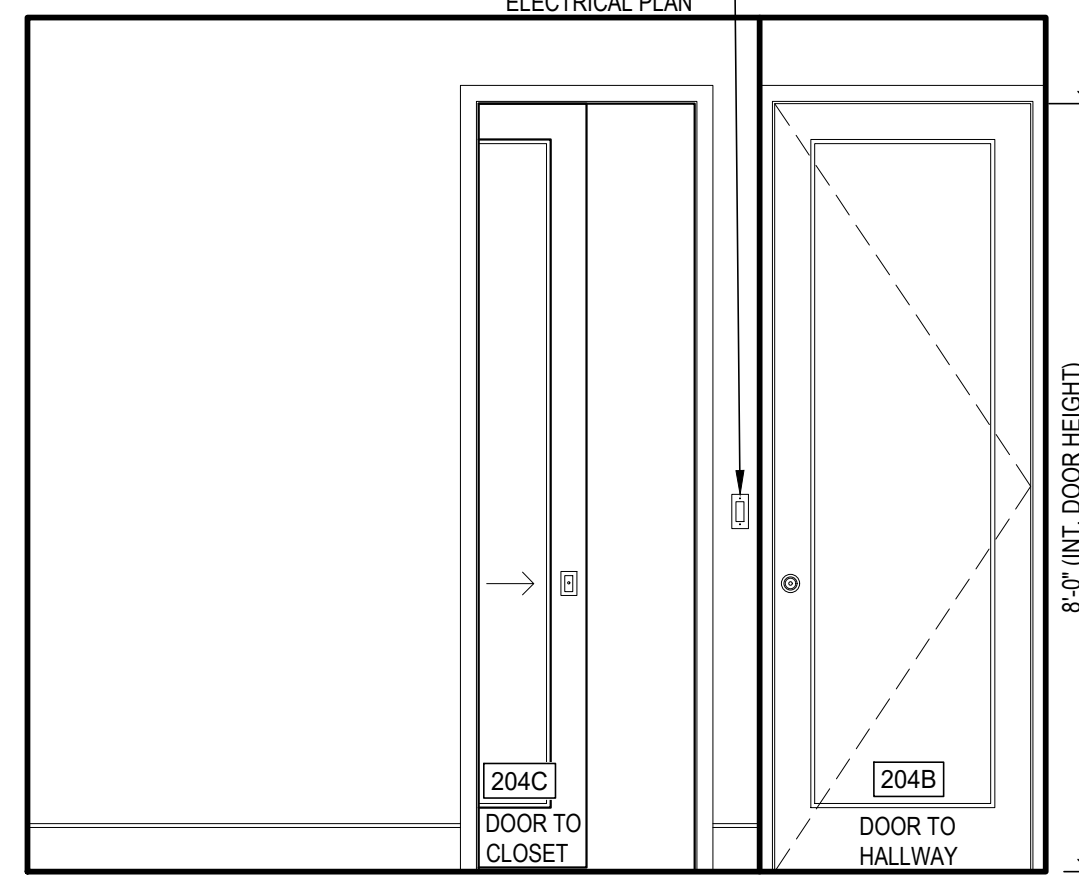
5 PROPOSED BEDROOM #1 ELEVATION
A-406 1/2" = 1'-0"



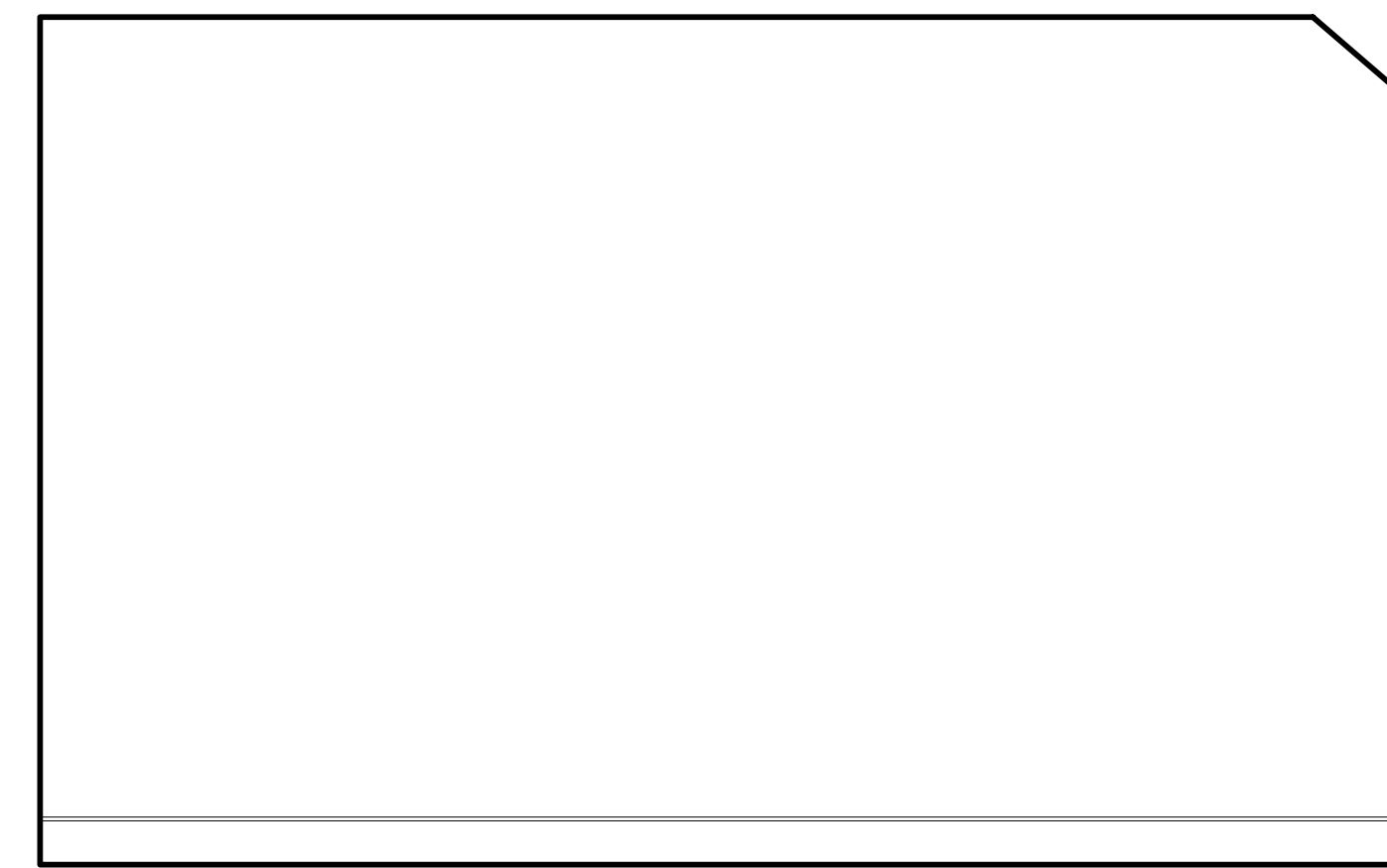
6 PROPOSED BEDROOM #2 ELEVATION
A-406 1/2" = 1'-0"



7 PROPOSED BEDROOM #2 ELEVATION
A-406 1/2" = 1'-0"



8 PROPOSED BEDROOM #2 ELEVATION
A-406 1/2" = 1'-0"



9 PROPOSED BEDROOM #2 ELEVATION
A-406 1/2" = 1'-0"

SEAL

ARCHITECT

JOSEPH PAGAC
ARCHITECT P.C.

JPA

16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209

DATE: 7/27/22

DRAWN BY: CD

CHECKED BY: JP

DRAWING TITLE

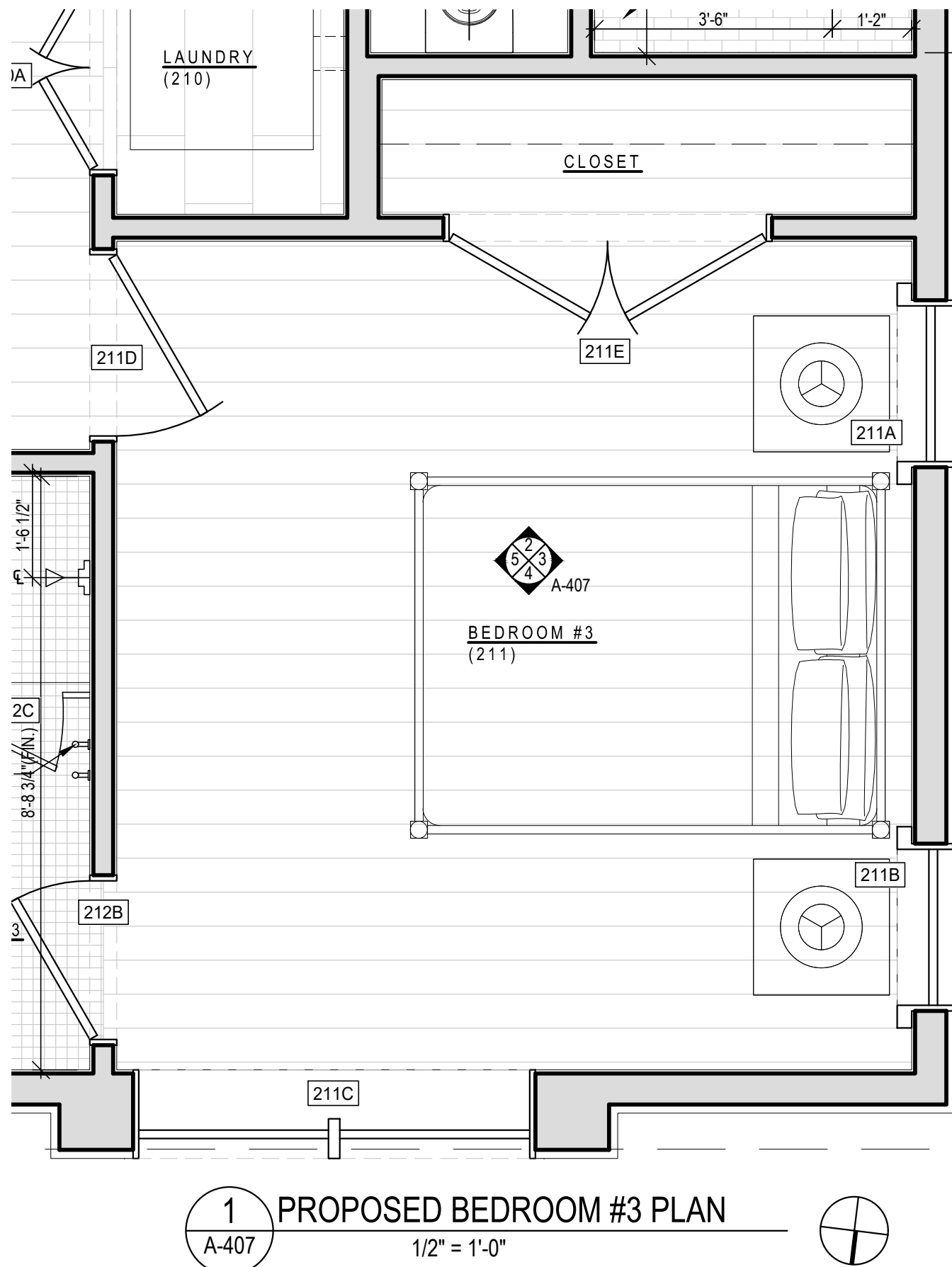
PROPOSED INTERIOR
ELEVATIONS -
BEDROOM #1 & 2

SCALE: AS NOTED

A-406

© JOSEPH PAGAC ARCHITECT PC

FILE NAME C:\Users\16318\Dropbox\JPA-CD Share\2209 LYSIAK\Drawings\2209-Interior.DWG SAVED ON 2/17/2025 2:36 PM PLOTTED ON 2/17/2025 2:56 PM PLOTTED BY CHRISTIAN D SILVESTRE

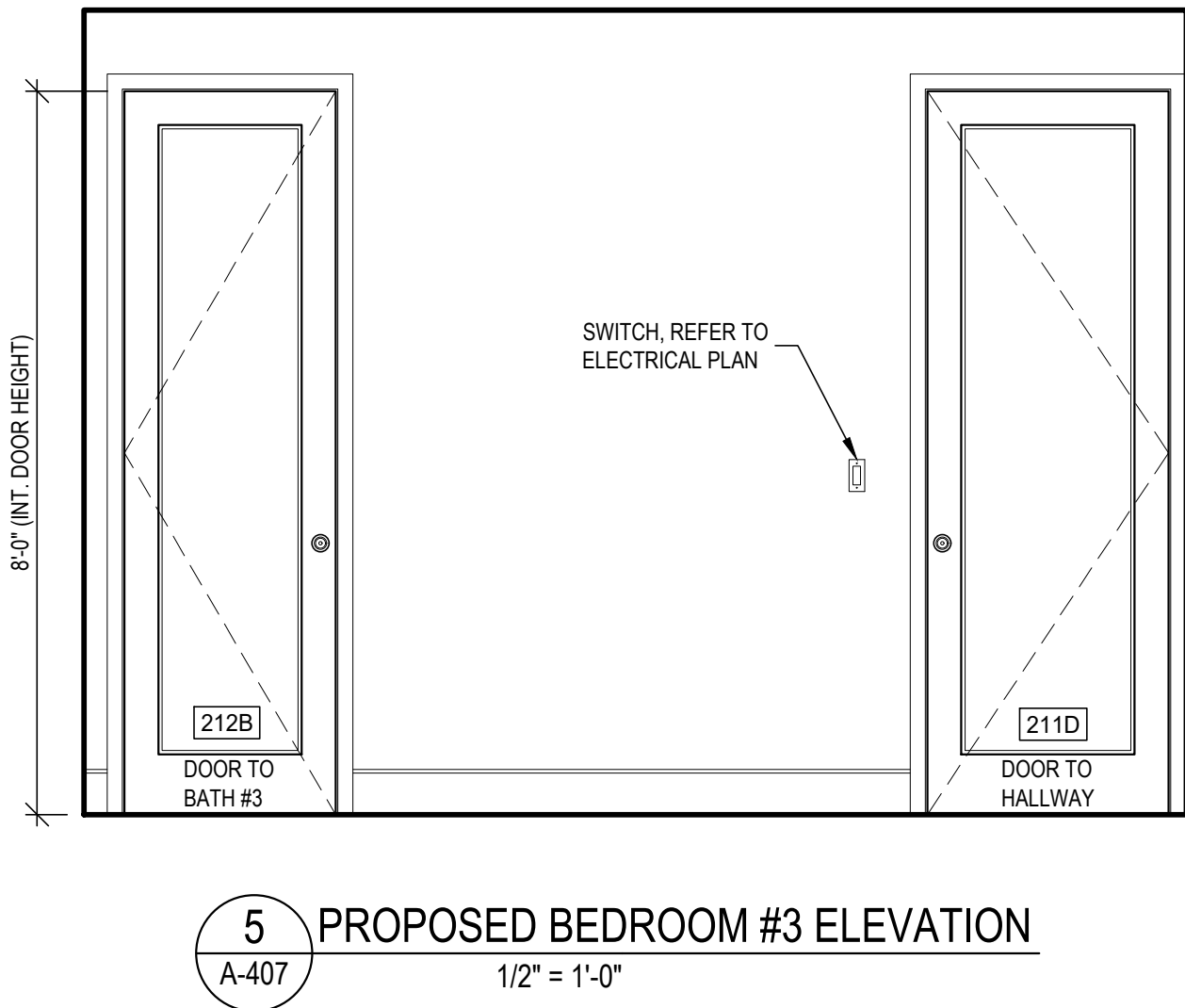
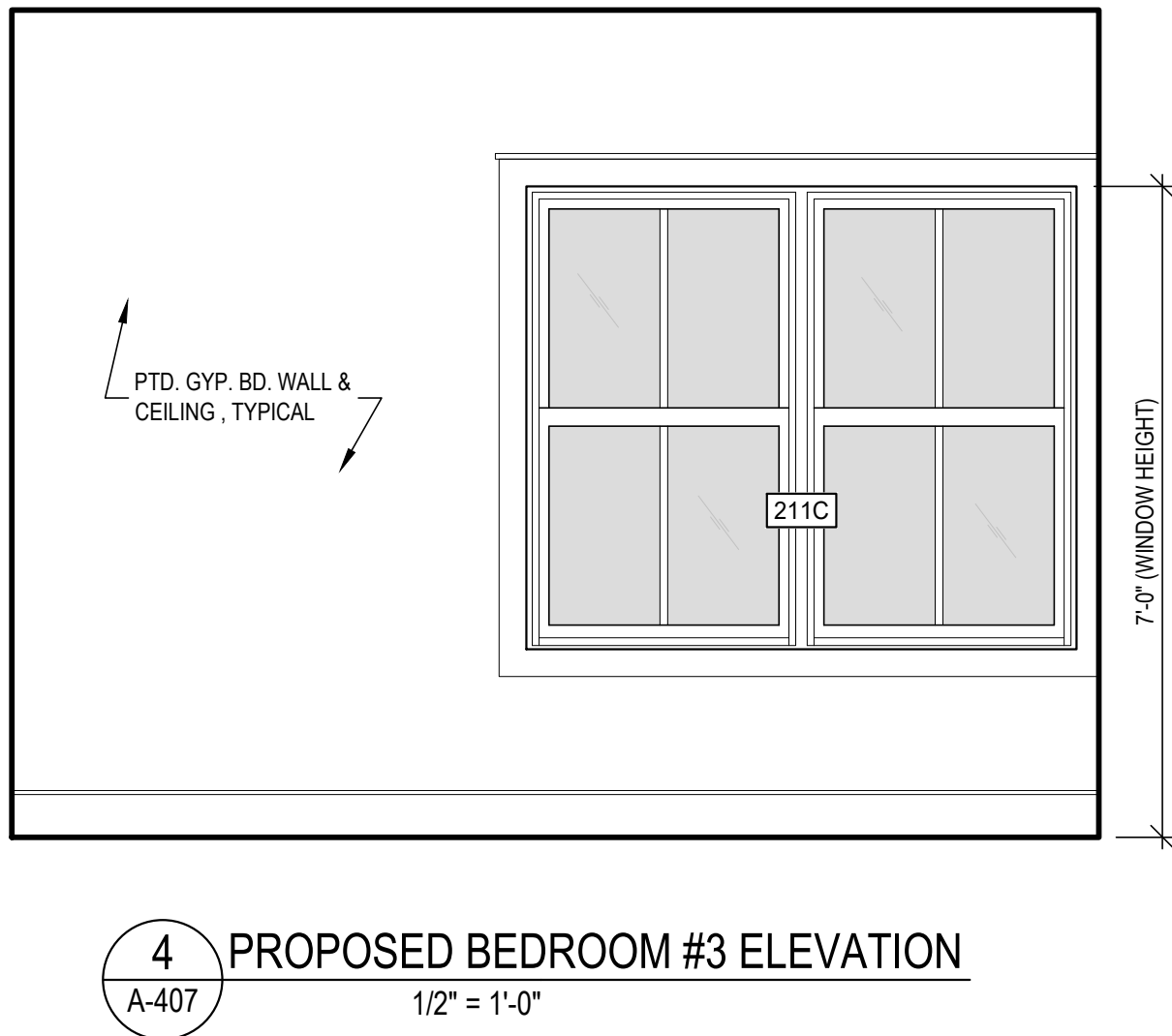
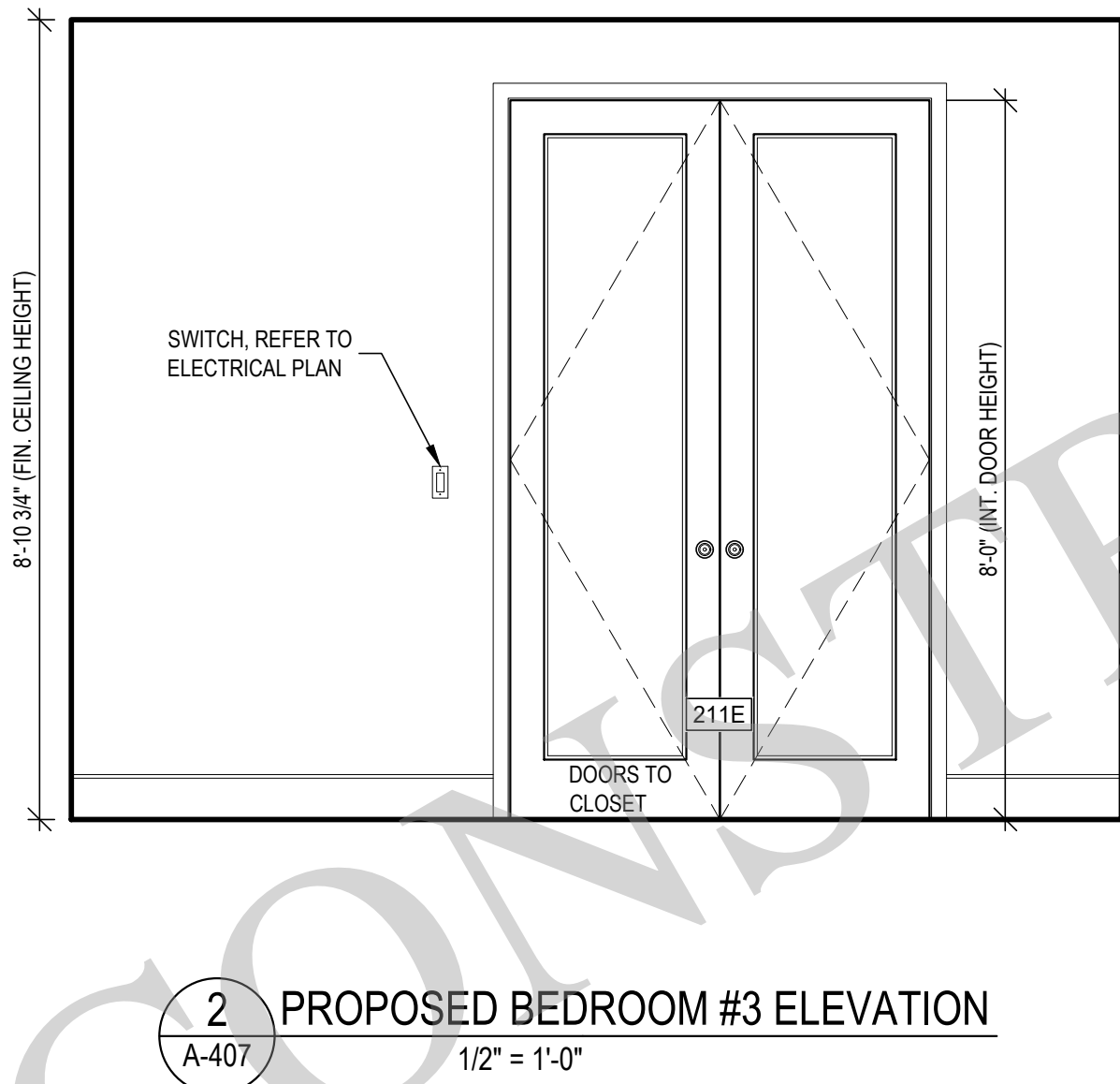


NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM CABINETS & BUILT-IN MILLWORK BASED ON ACTUAL FIELD MEASUREMENTS FOR ARCHITECTS REVIEW & APPROVAL PRIOR TO FABRICATION



SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

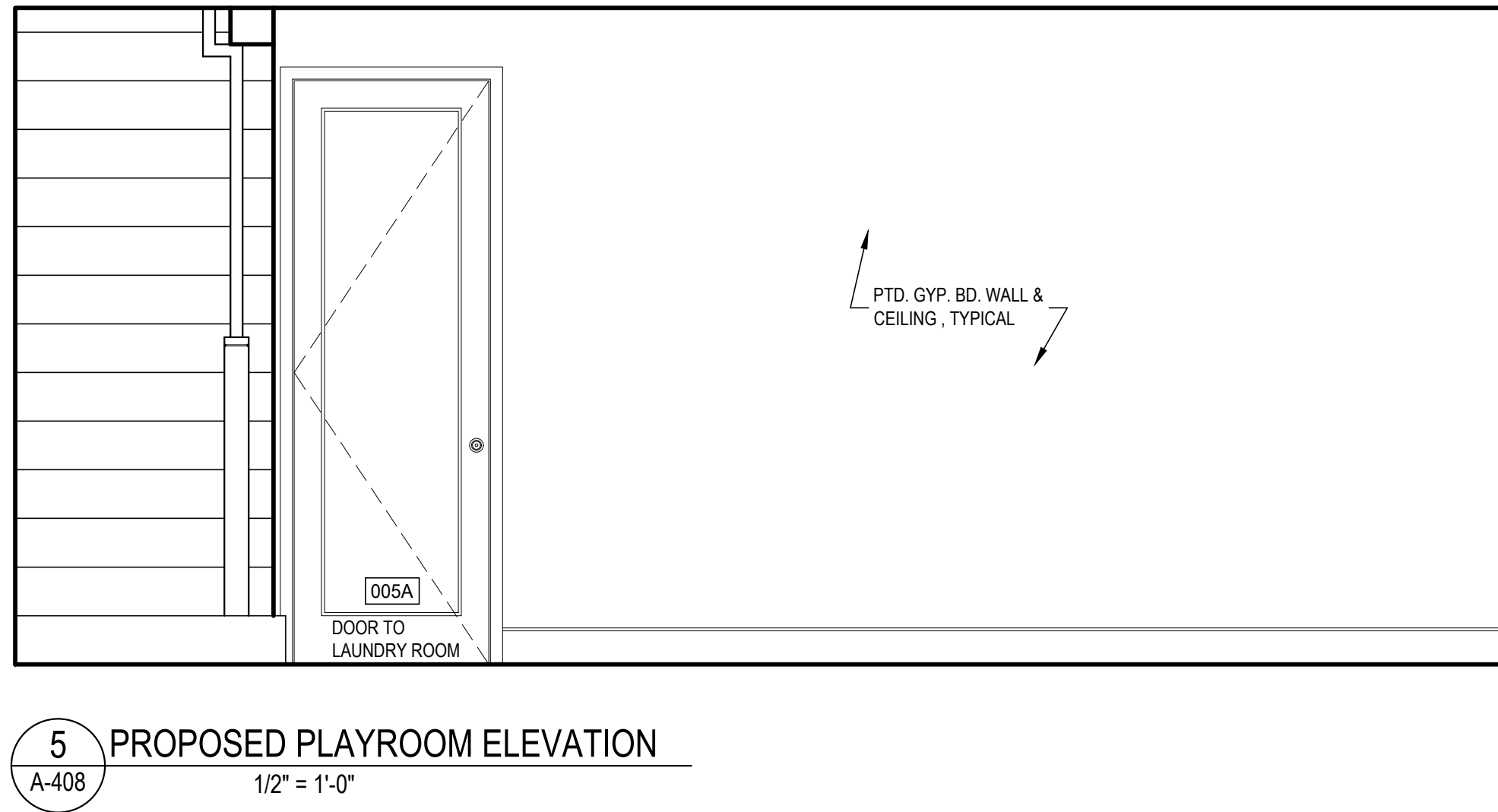
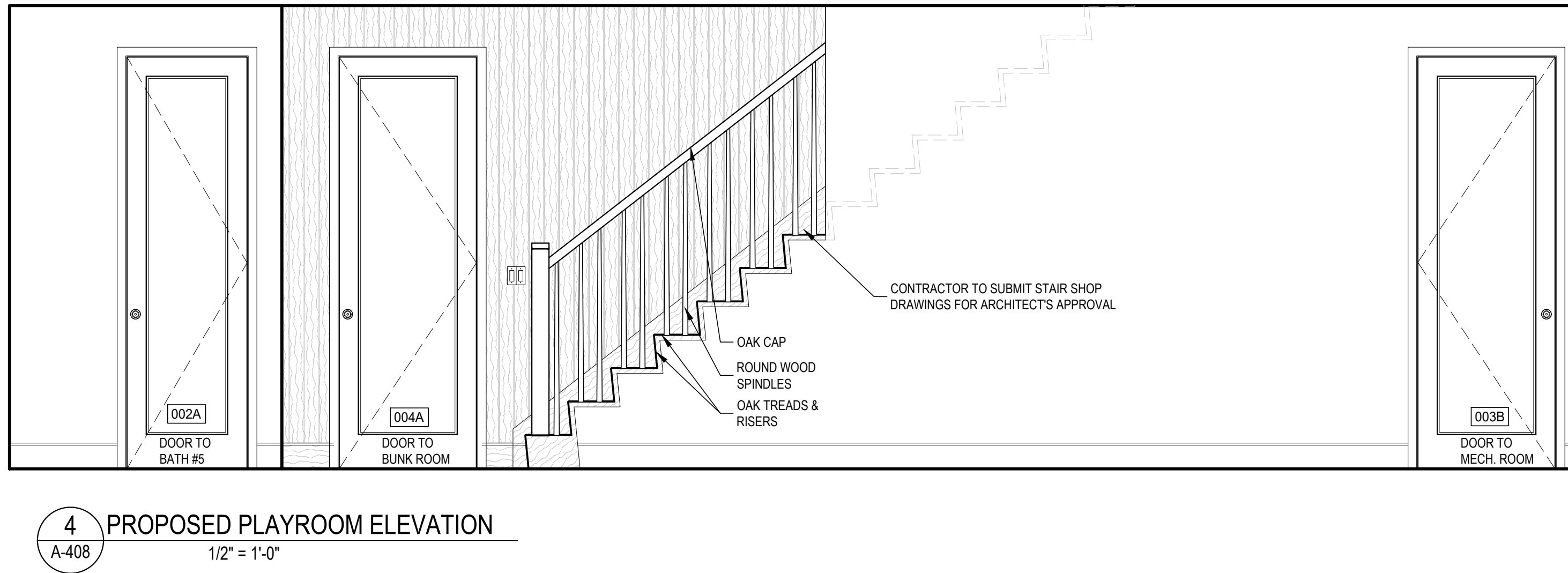
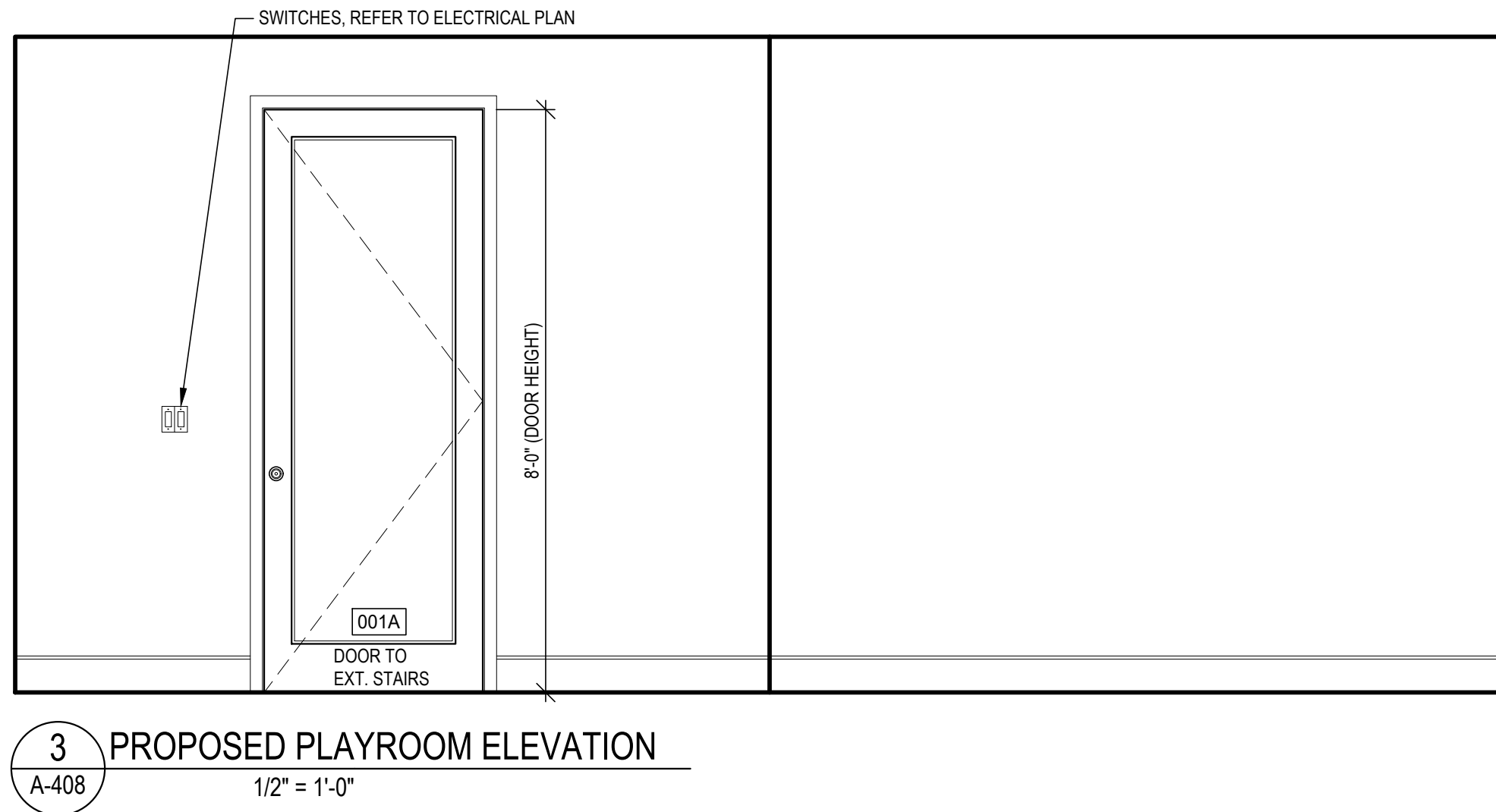
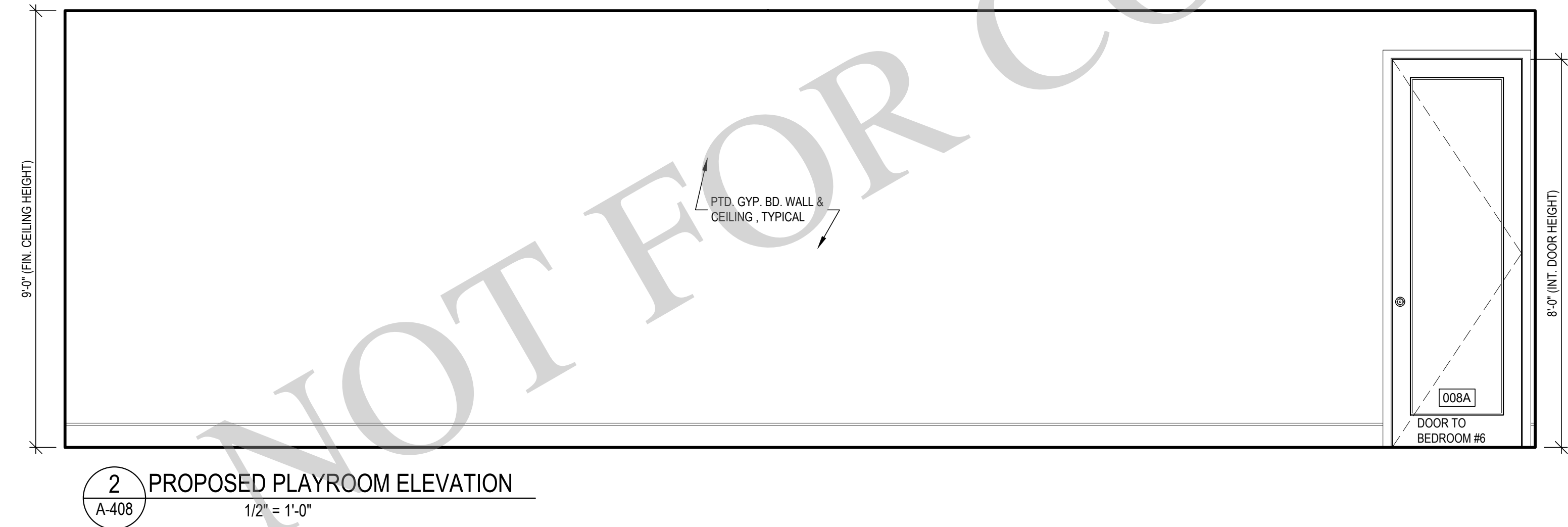
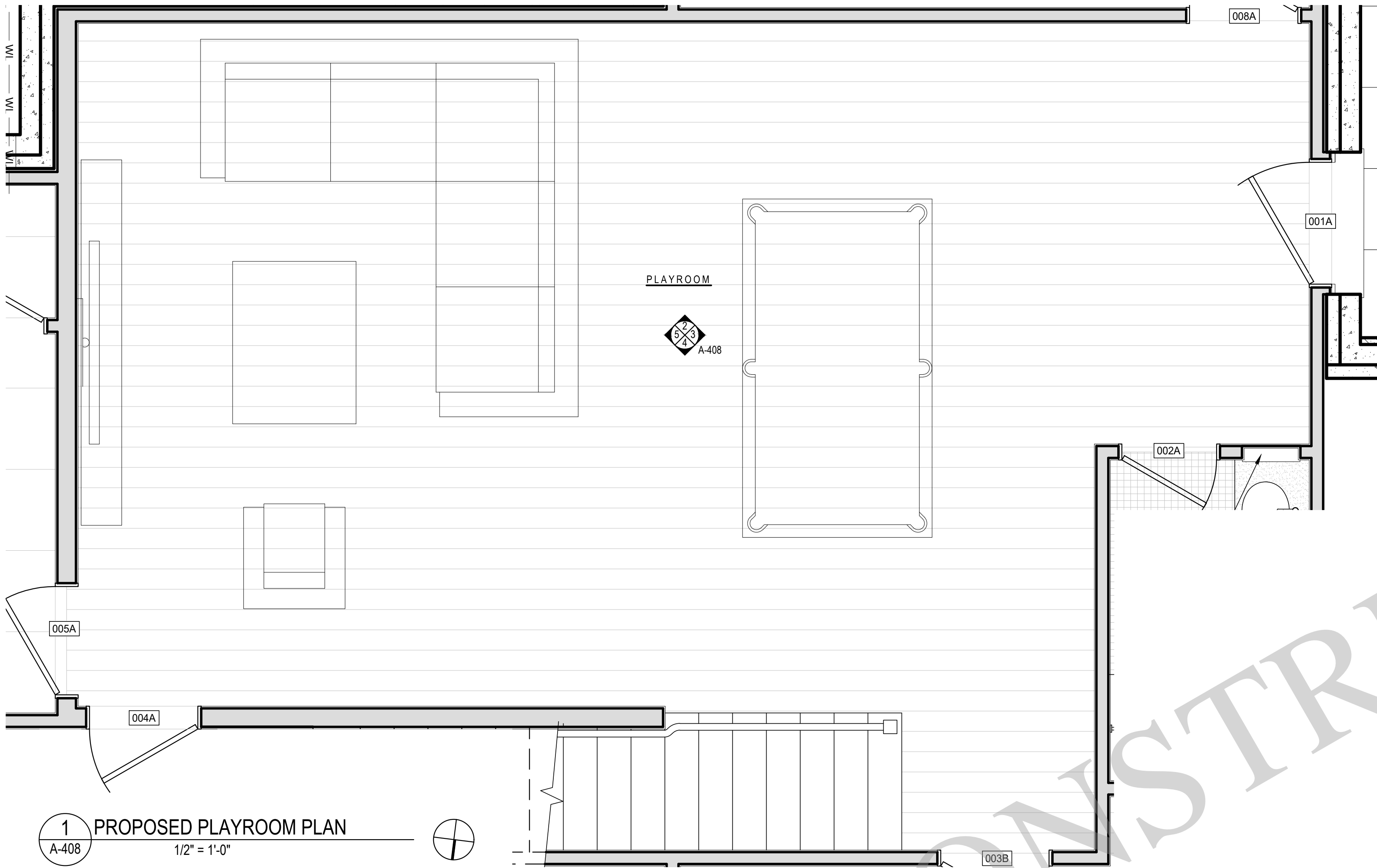
PROPOSED INTERIOR
ELEVATIONS -
BEDROOM #3

SCALE: AS NOTED

A-407

© JOSEPH PAGAC ARCHITECT PC

FILE NAME C:\Users\16318\Dropbox\JPA-CD Share\2209\LSIAK\Drawings\2209-Interior.DWG SAVED ON 2/17/2025 2:36 PM PLOTTED ON 2/17/2025 2:56 PM PLOTTED BY CHRISTIAN DISILVESTRE



NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM CABINETS & BUILT-IN MILLWORK BASED ON ACTUAL FIELD MEASUREMENTS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION

SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

**PROPOSED INTERIOR
ELEVATIONS -
PLAYROOM**

SCALE: AS NOTED

A-408

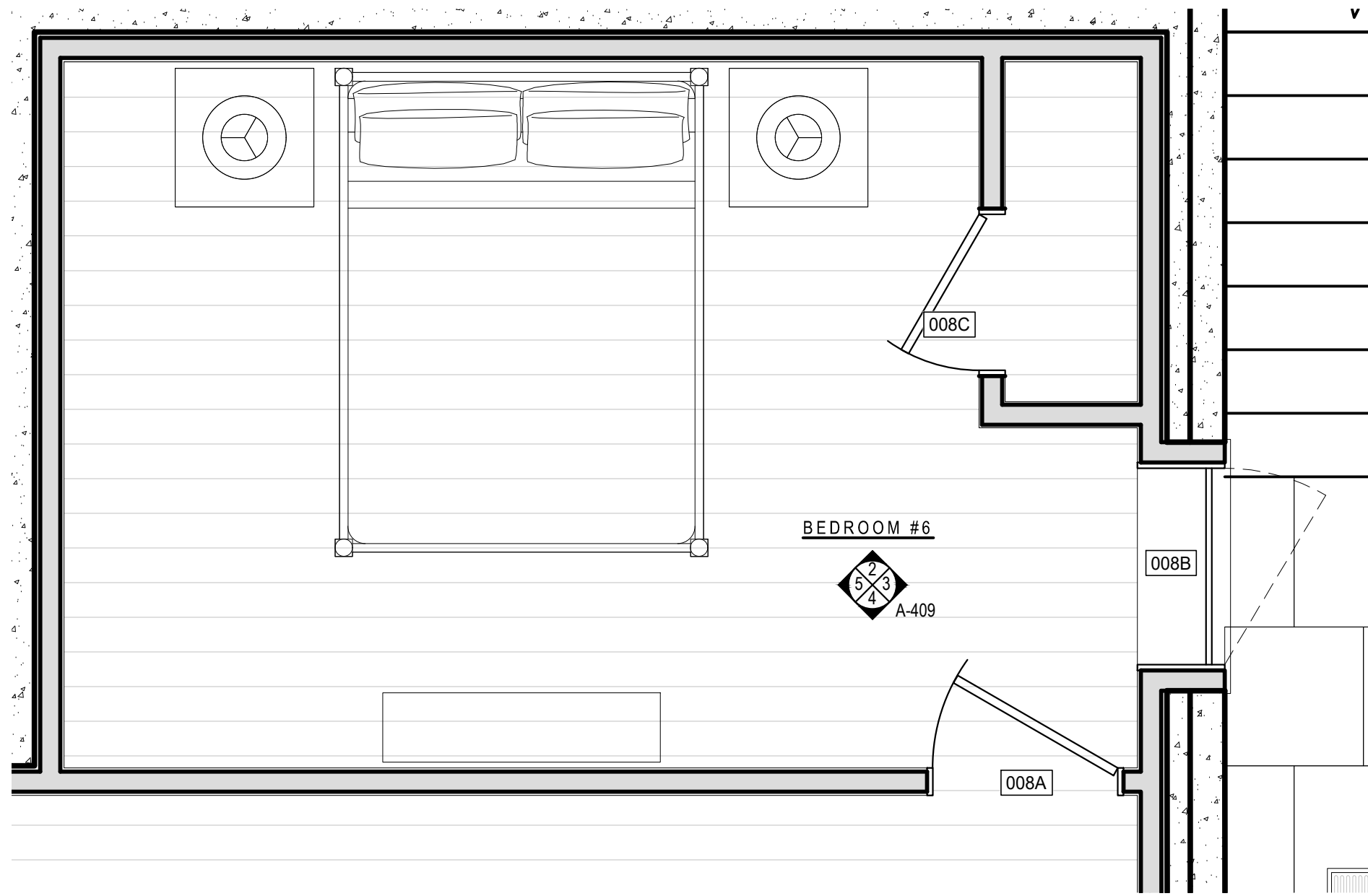
© JOSEPH PAGAC ARCHITECT PC

NOTES:

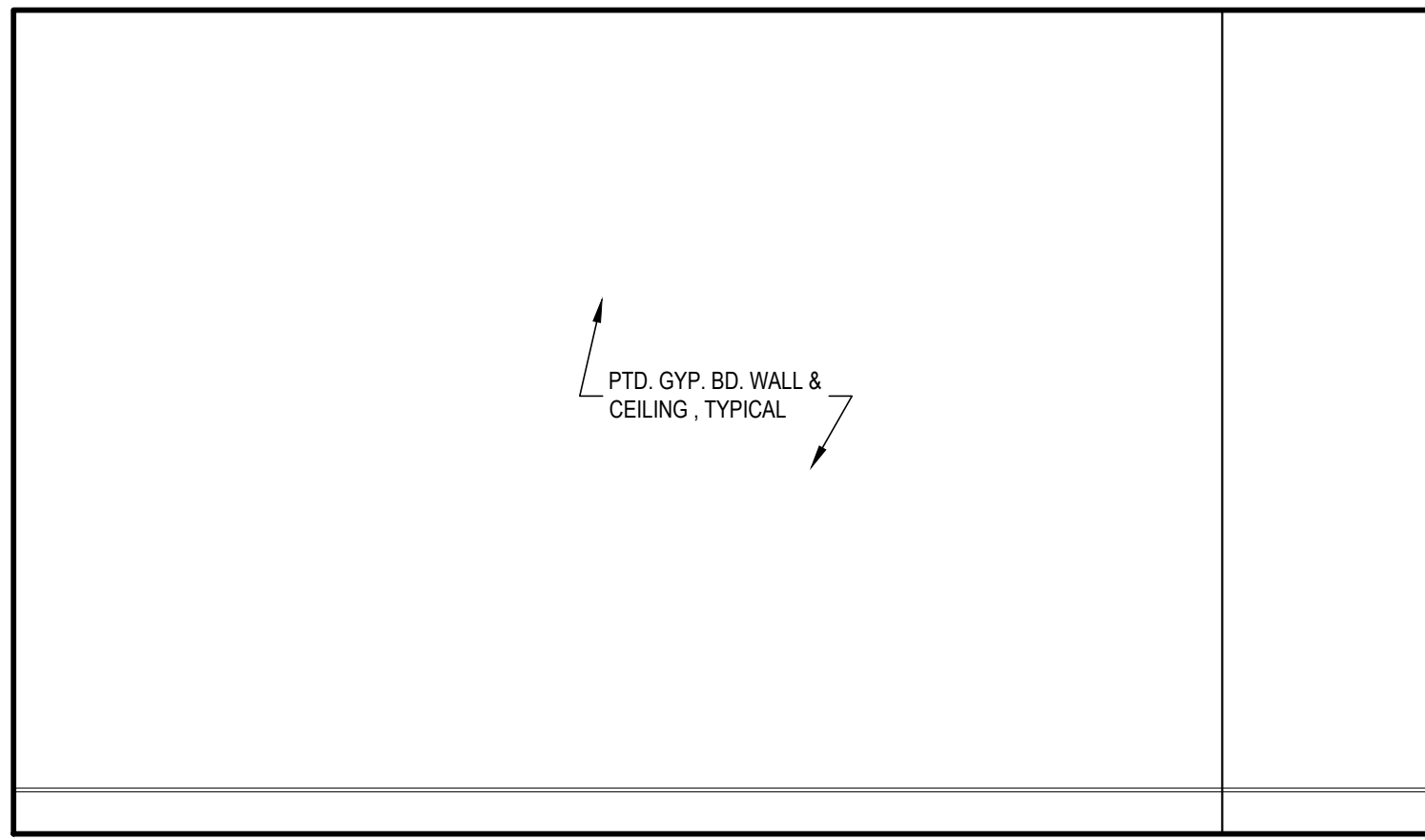
CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD
AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE
ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

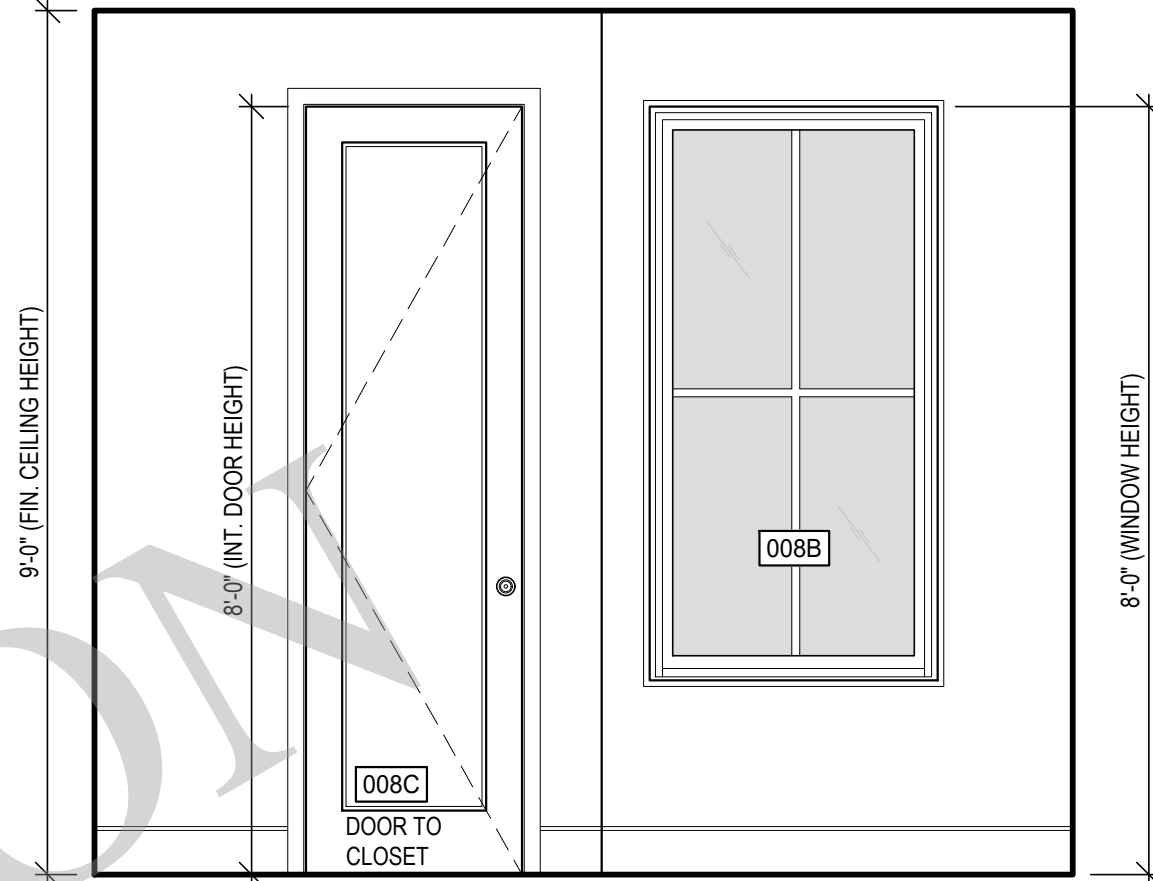
CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM
CABINETRY & BUILT-IN MILLWORK BASED ON ACTUAL FIELD
MEASUREMENTS FOR ARCHITECTS REVIEW & APPROVAL PRIOR
TO FABRICATION



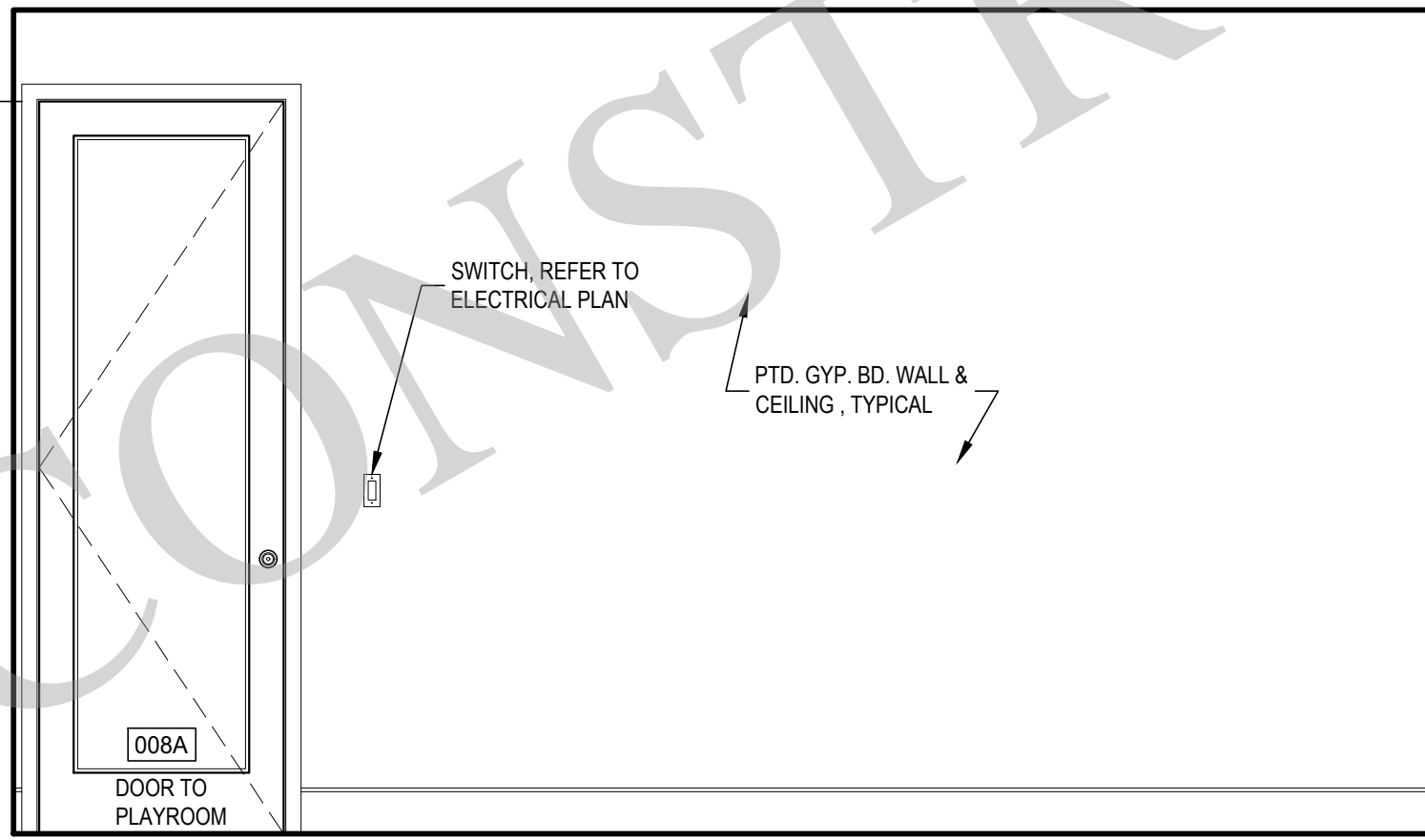
1 PROPOSED BEDROOM #6 PLAN
A-409
1/2" = 1'-0"



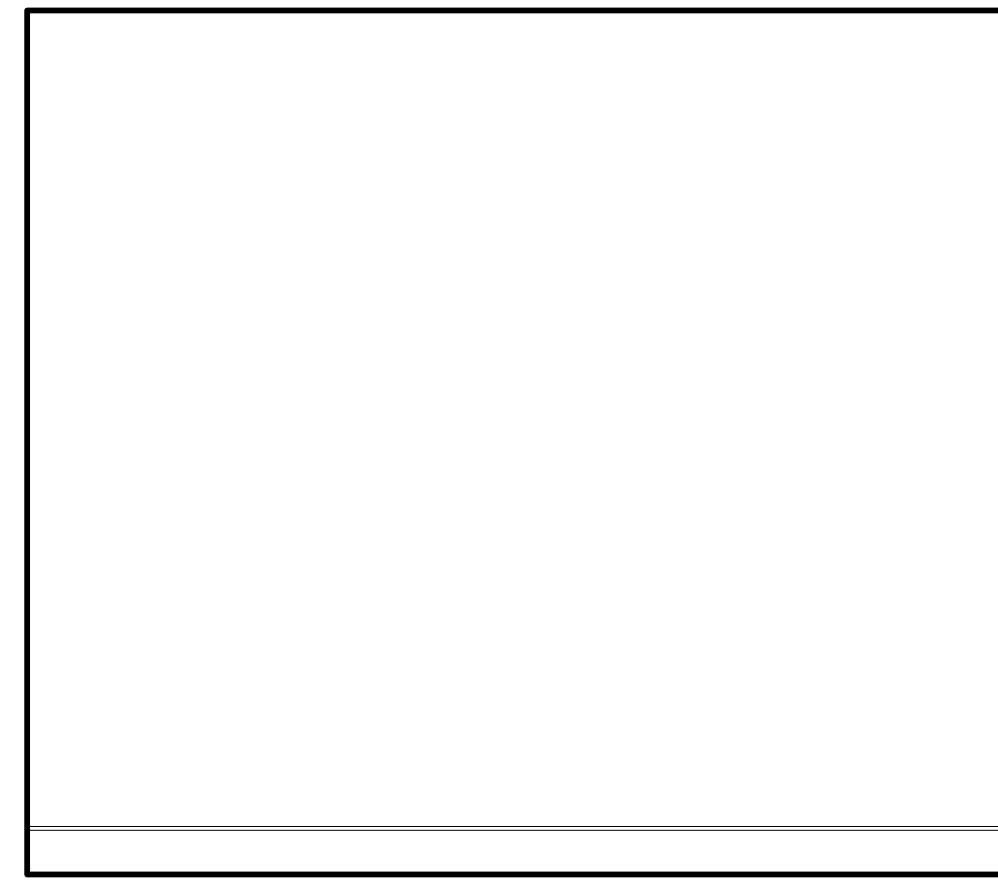
2 PROPOSED BEDROOM #6 ELEVATION
A-409
1/2" = 1'-0"



3 PROPOSED BEDROOM #6 ELEVATION
A-409
1/2" = 1'-0"

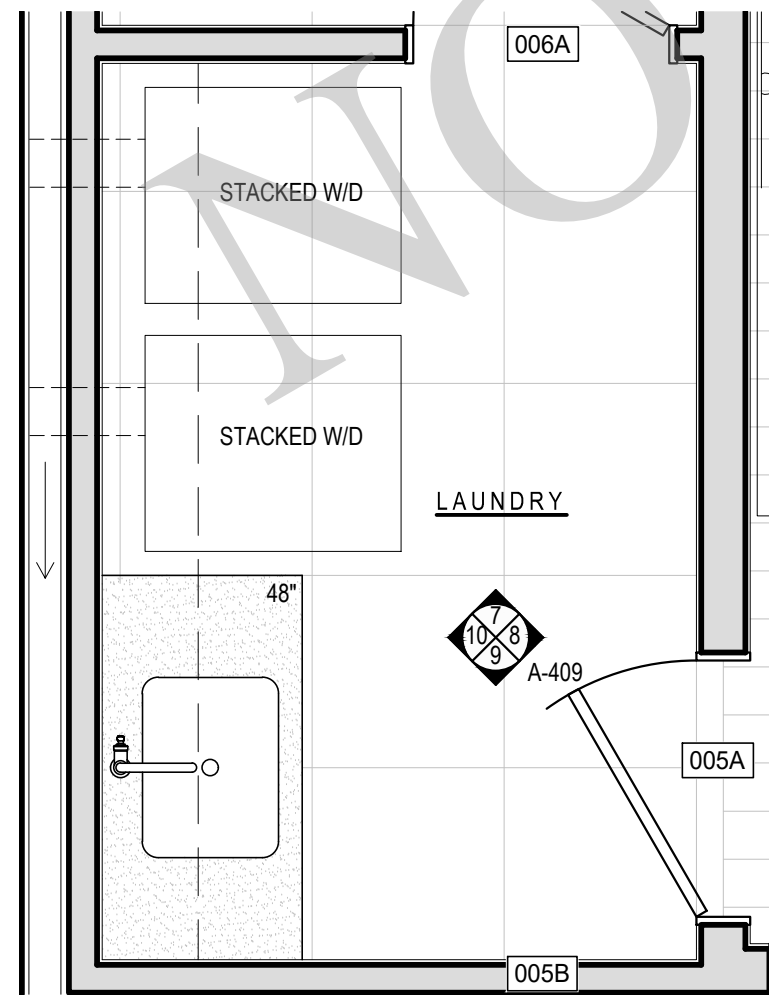


4 PROPOSED BEDROOM #6 ELEVATION
A-409
1/2" = 1'-0"

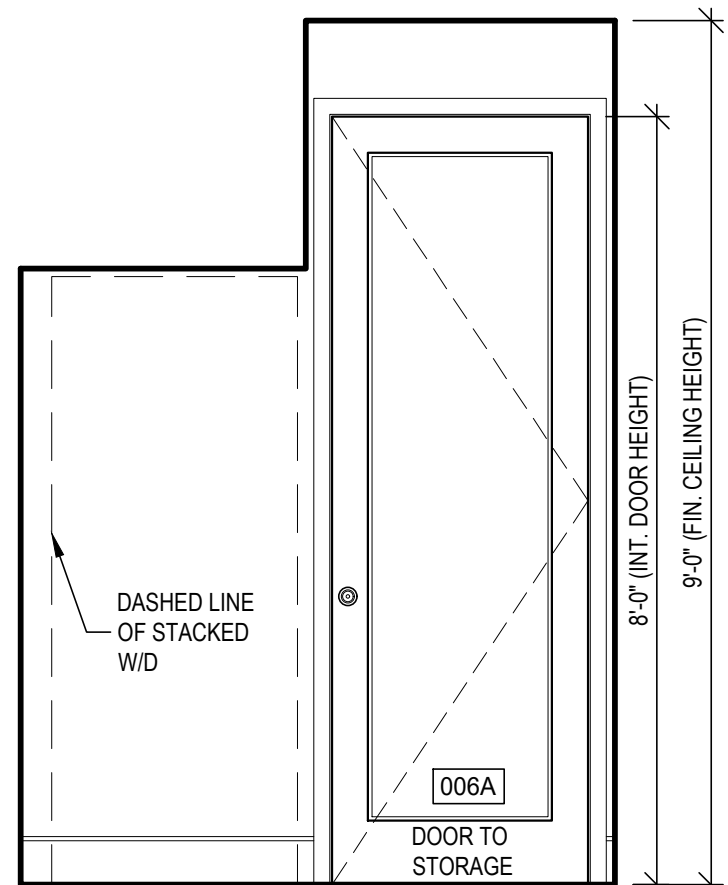


5 PROPOSED BEDROOM #6 ELEVATION
A-409
1/2" = 1'-0"

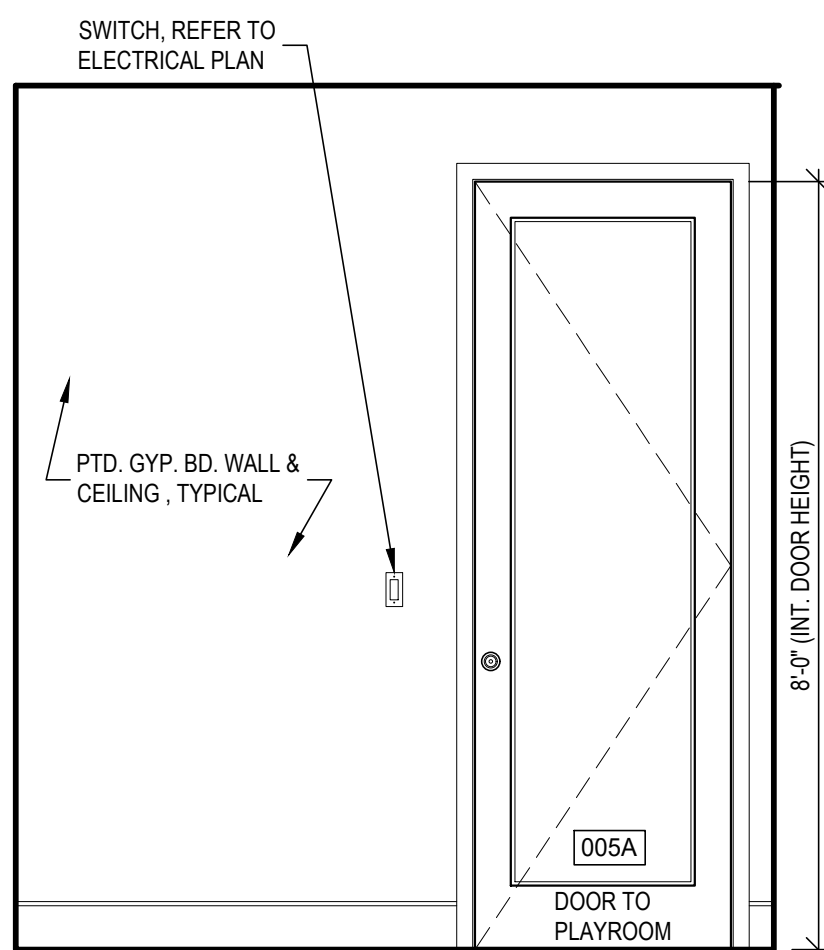
TILE WALLS & FLOORING:
SEE STONE & TILE SCHEDULE ON SHEET
A-110 FOR SPECIFICATIONS.



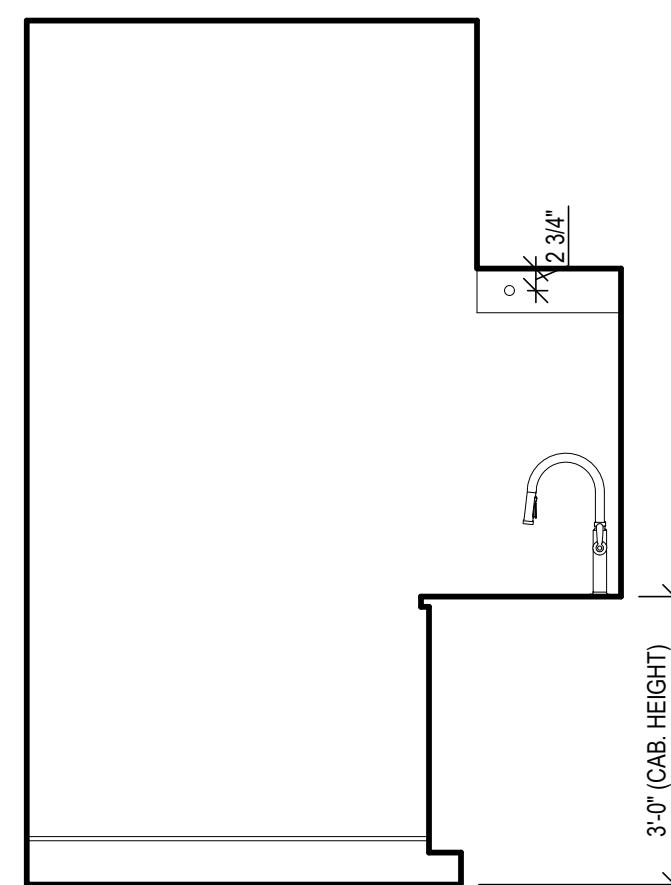
6 PROPOSED LAUNDRY ROOM PLAN
A-409
1/2" = 1'-0"



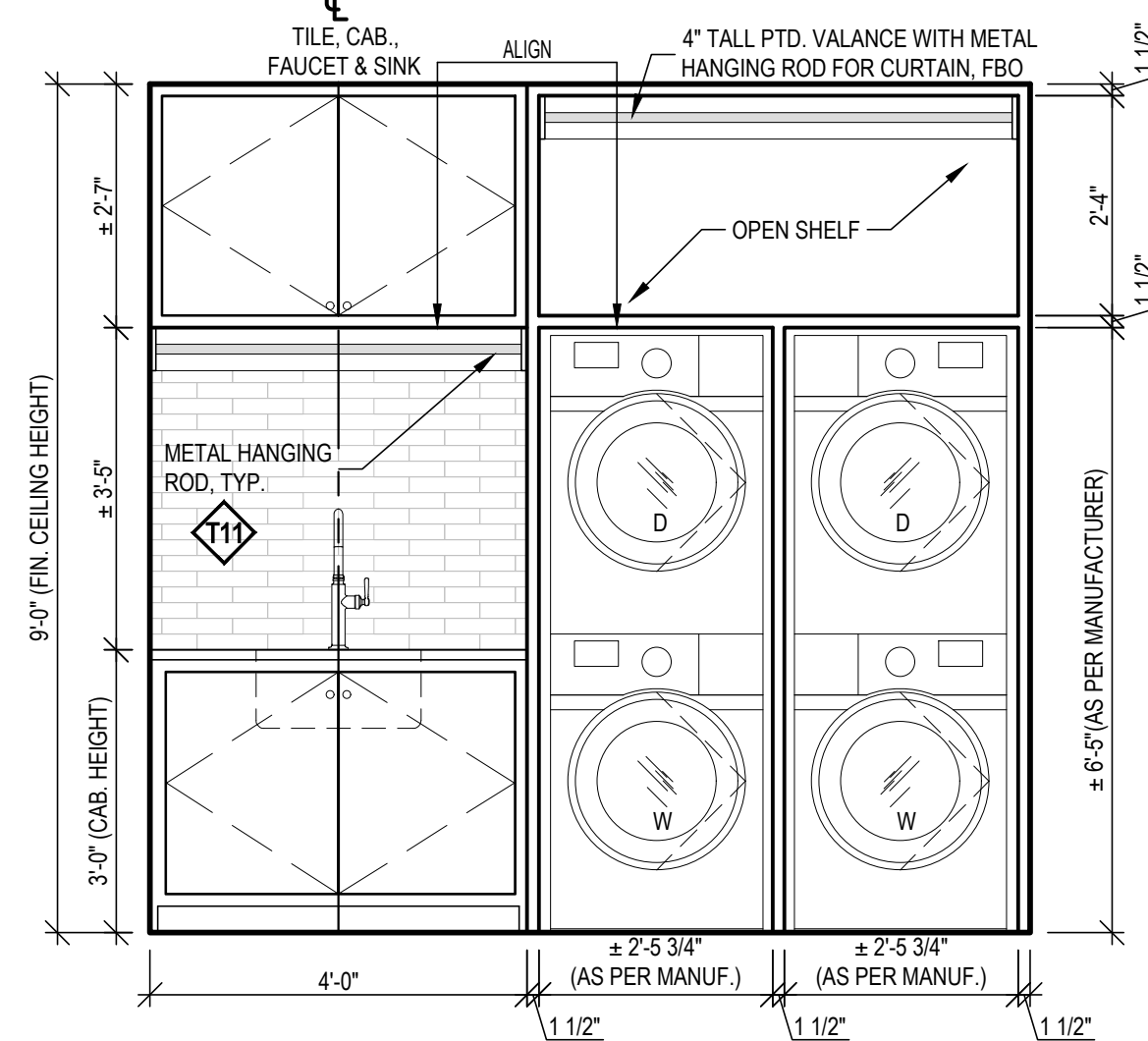
7 PROPOSED LAUNDRY ROOM ELEVATION
A-409
1/2" = 1'-0"



8 PROPOSED LAUNDRY ROOM ELEVATION
A-409
1/2" = 1'-0"



9 PROPOSED LAUNDRY ROOM ELEVATION
A-409
1/2" = 1'-0"



10 PROPOSED LAUNDRY ROOM ELEVATION
A-409
1/2" = 1'-0"

SEAL

ARCHITECT

JOSEPH PAGAC
ARCHITECT P.C.

JPA

16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209

DATE: 7/27/22

DRAWN BY: CD

CHECKED BY: JP

DRAWING TITLE

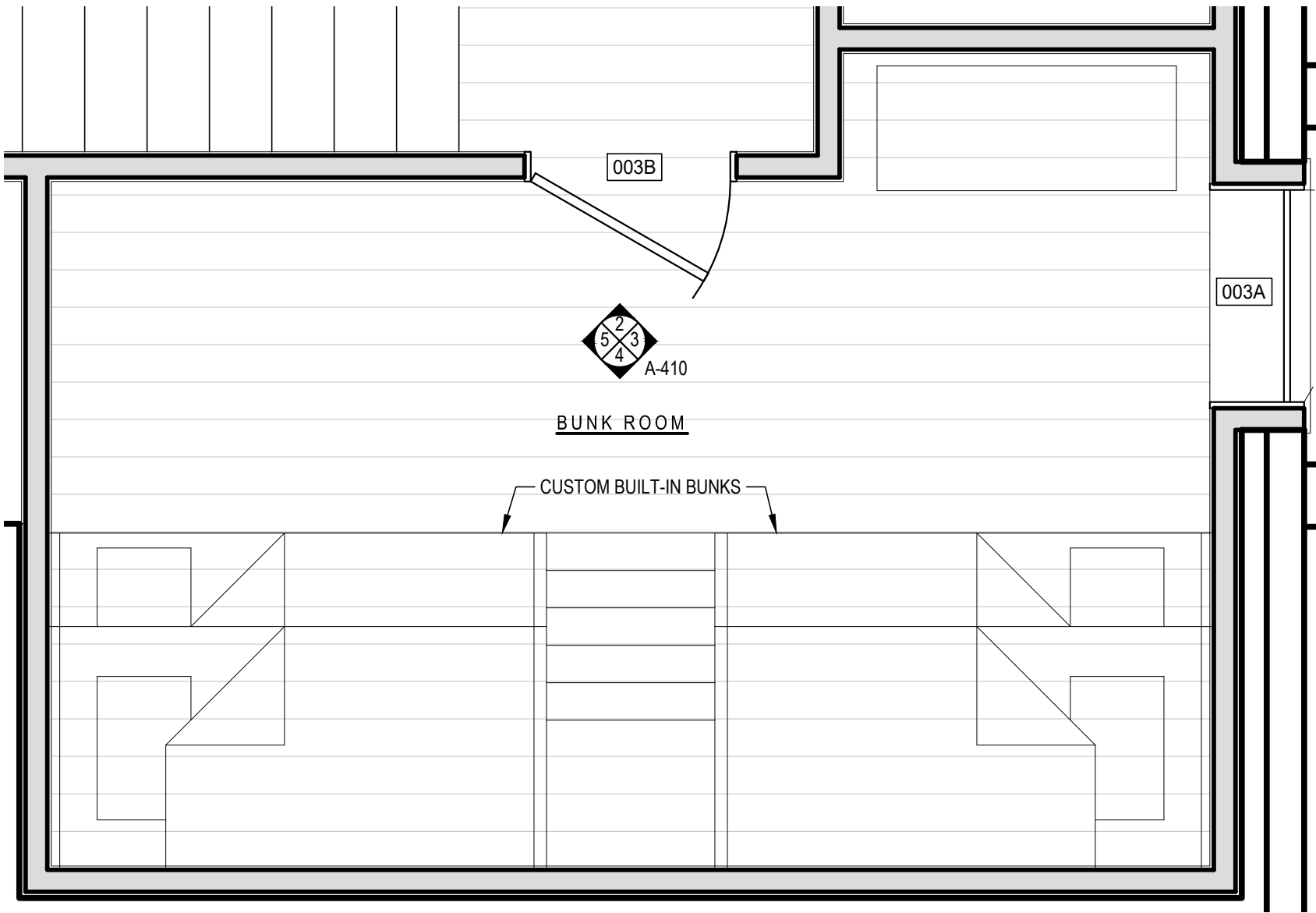
PROPOSED INTERIOR
ELEVATIONS - BED #6
& LAUNDRY ROOM

SCALE: AS NOTED

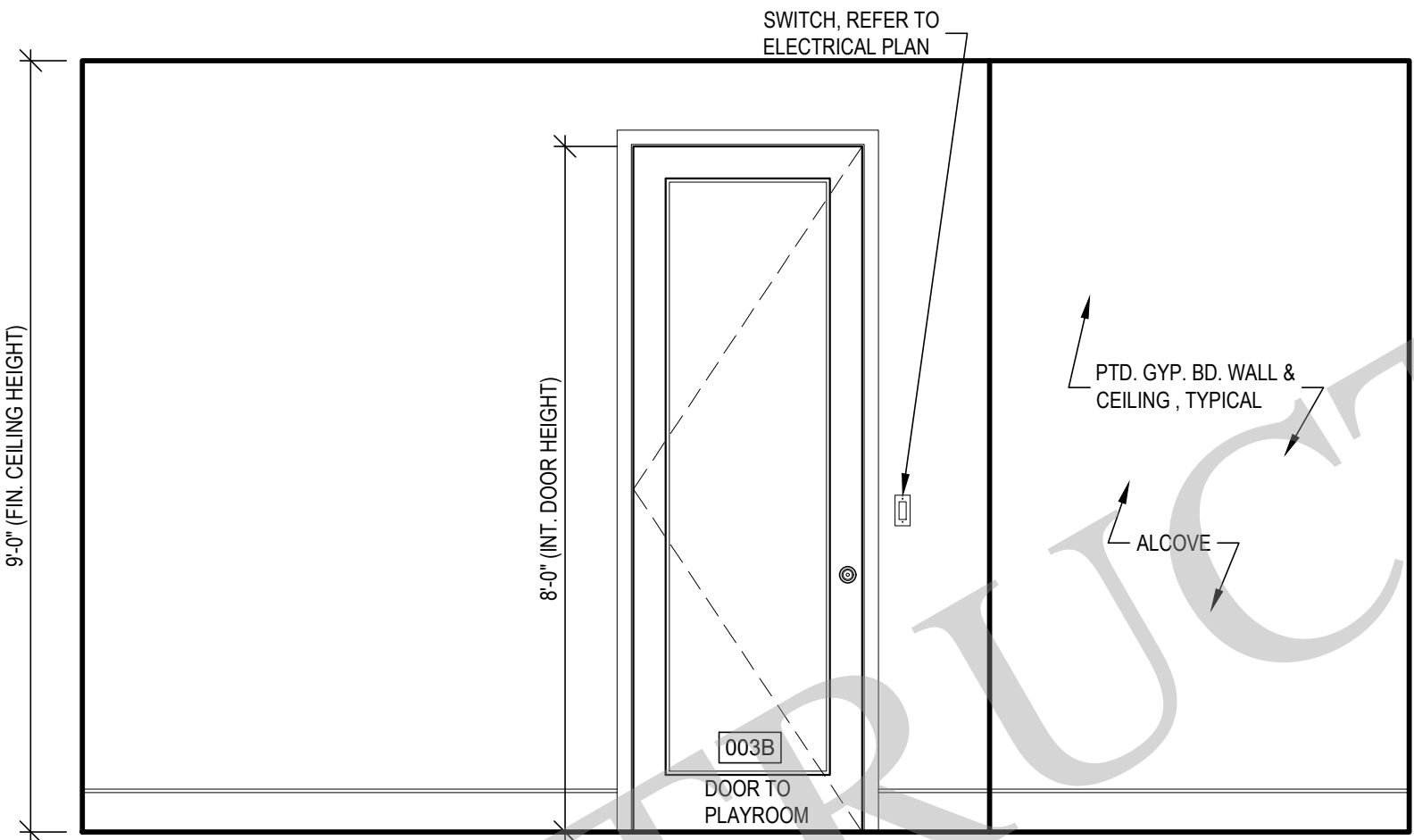
A-409

© JOSEPH PAGAC ARCHITECT PC

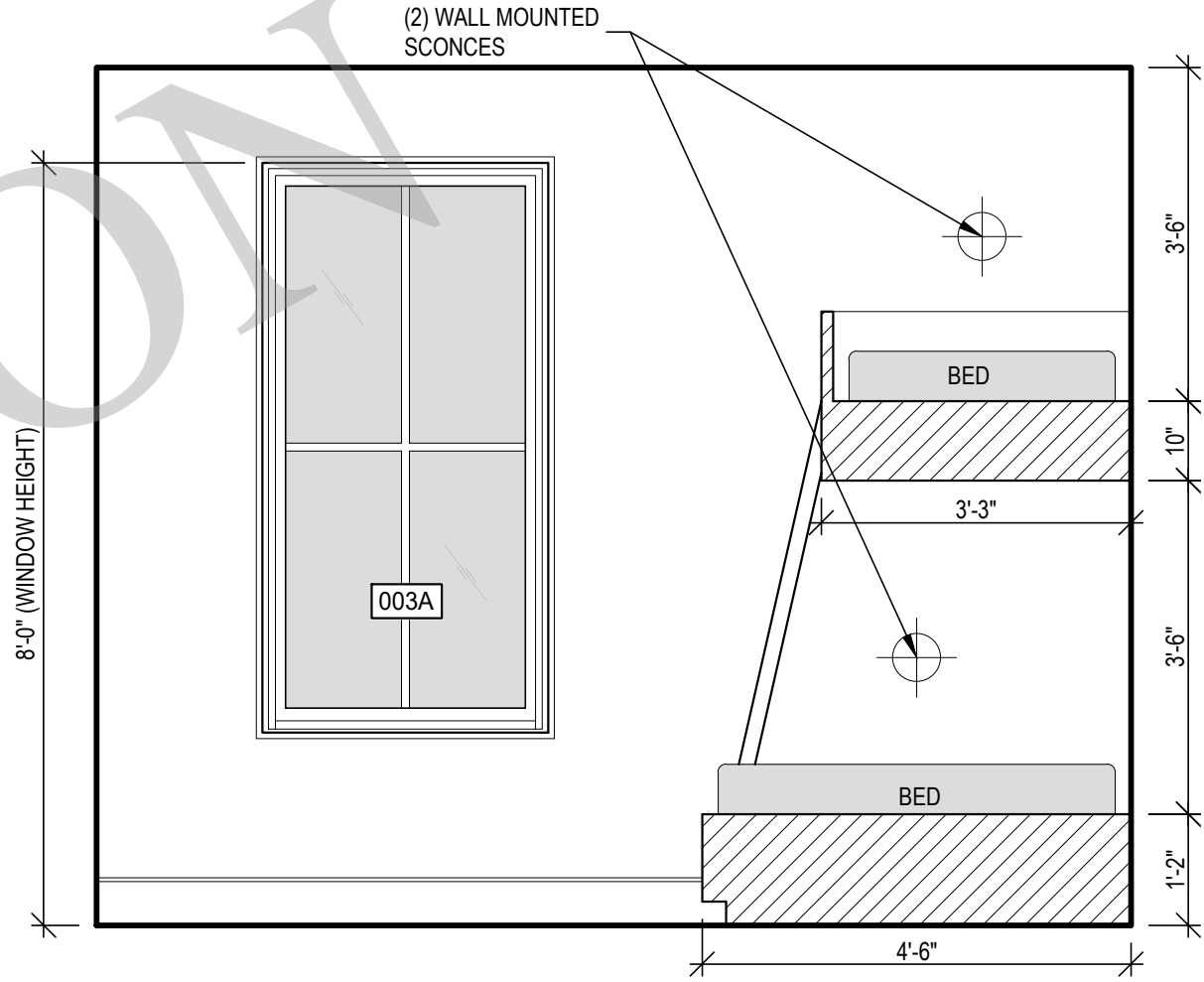
FILE NAME C:\Users\16318\Dropbox\JPA-CD Share\2209 - LYSIAK\Drawings\2209-Interior.DWG SAVED ON 2/17/2025 2:36 PM PLOTTED ON 2/17/2025 2:57 PM PLOTTED BY CHRISTIAN DISILVESTRE



1 PROPOSED BUNK ROOM PLAN
A-410 1/2" = 1'-0"



2 PROPOSED BUNK ROOM ELEVATION
A-410 1/2" = 1'-0"



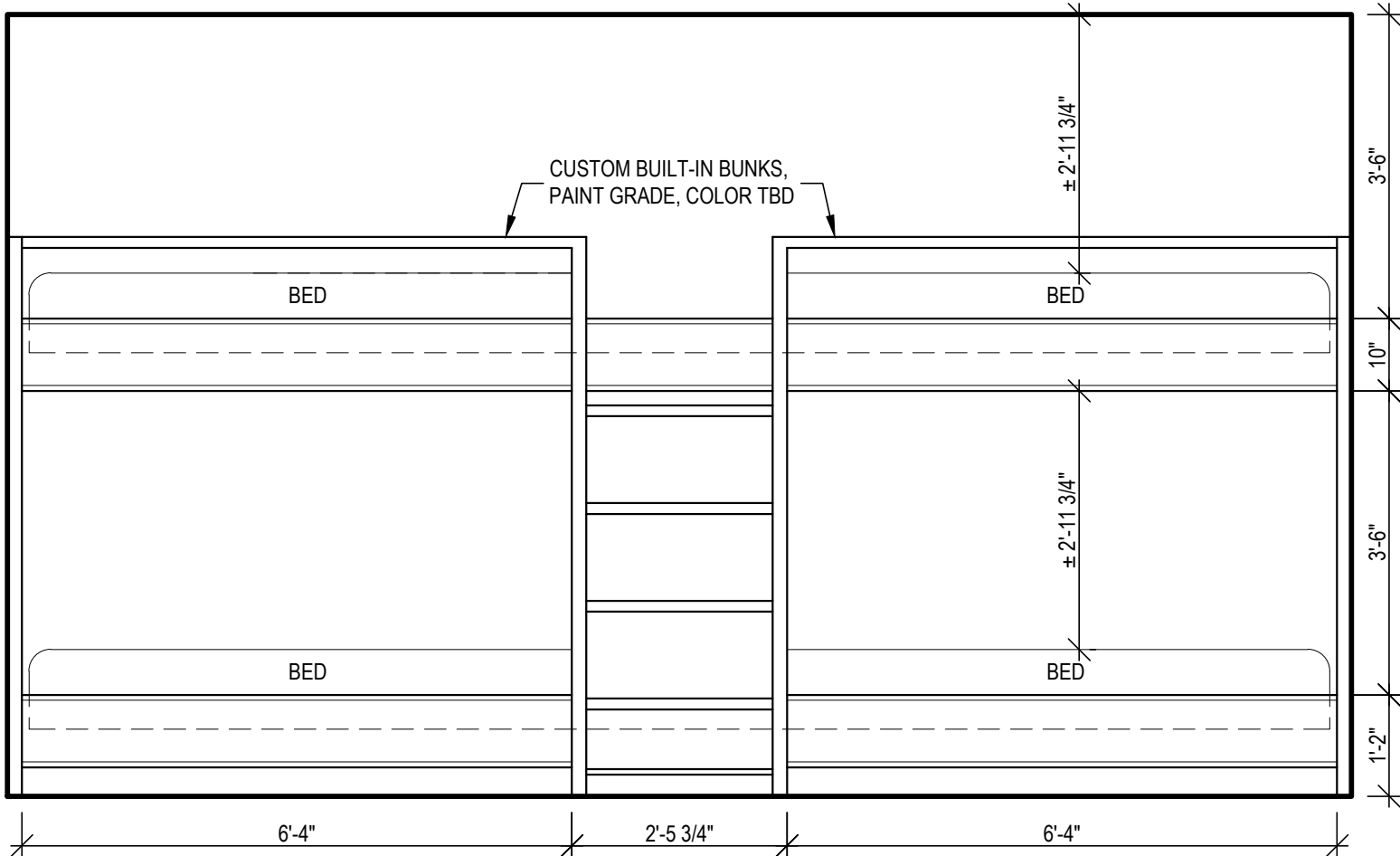
3 PROPOSED BUNK ROOM ELEVATION
A-410 1/2" = 1'-0"

NOTES:

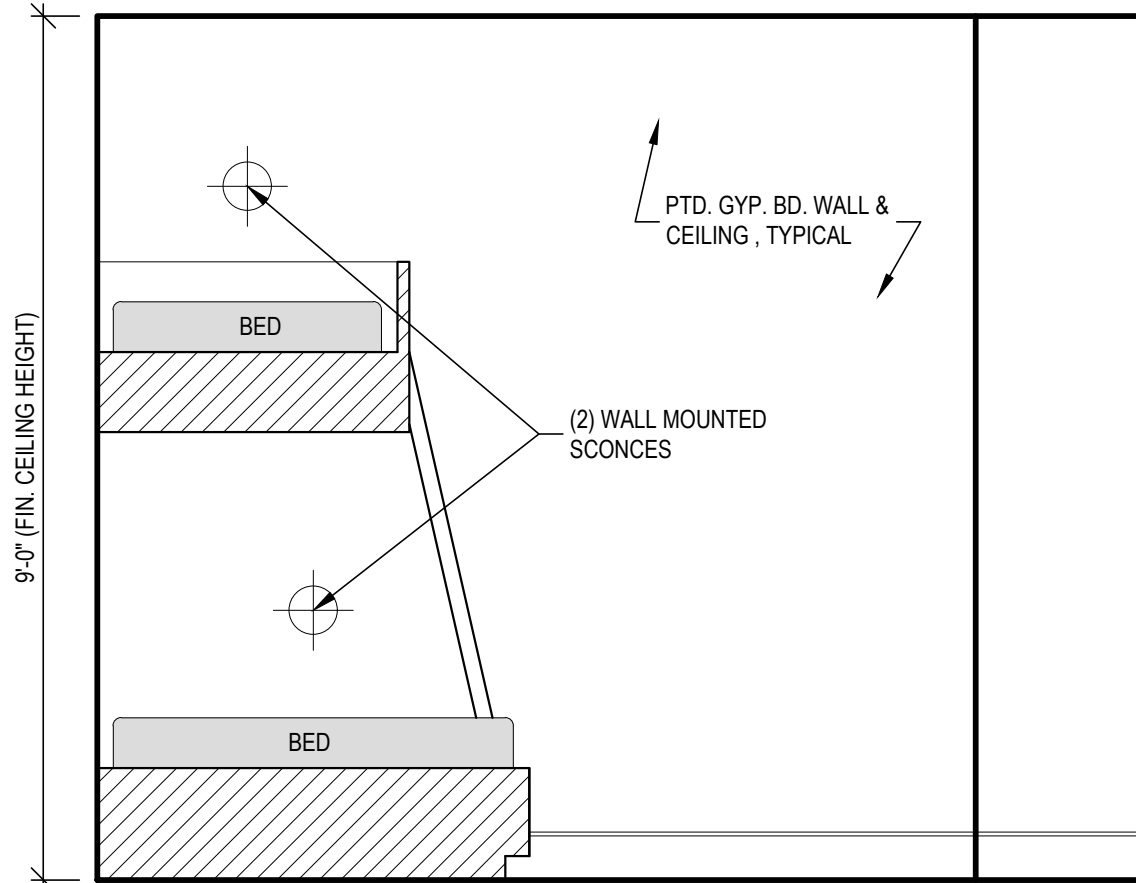
CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM CABINETS & BUILT-IN MILLWORK BASED ON ACTUAL FIELD MEASUREMENTS FOR ARCHITECTS REVIEW & APPROVAL PRIOR TO FABRICATION.



4 PROPOSED BUNK ROOM ELEVATION
A-410 1/2" = 1'-0"



5 PROPOSED BUNK ROOM ELEVATION
A-410 1/2" = 1'-0"

SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

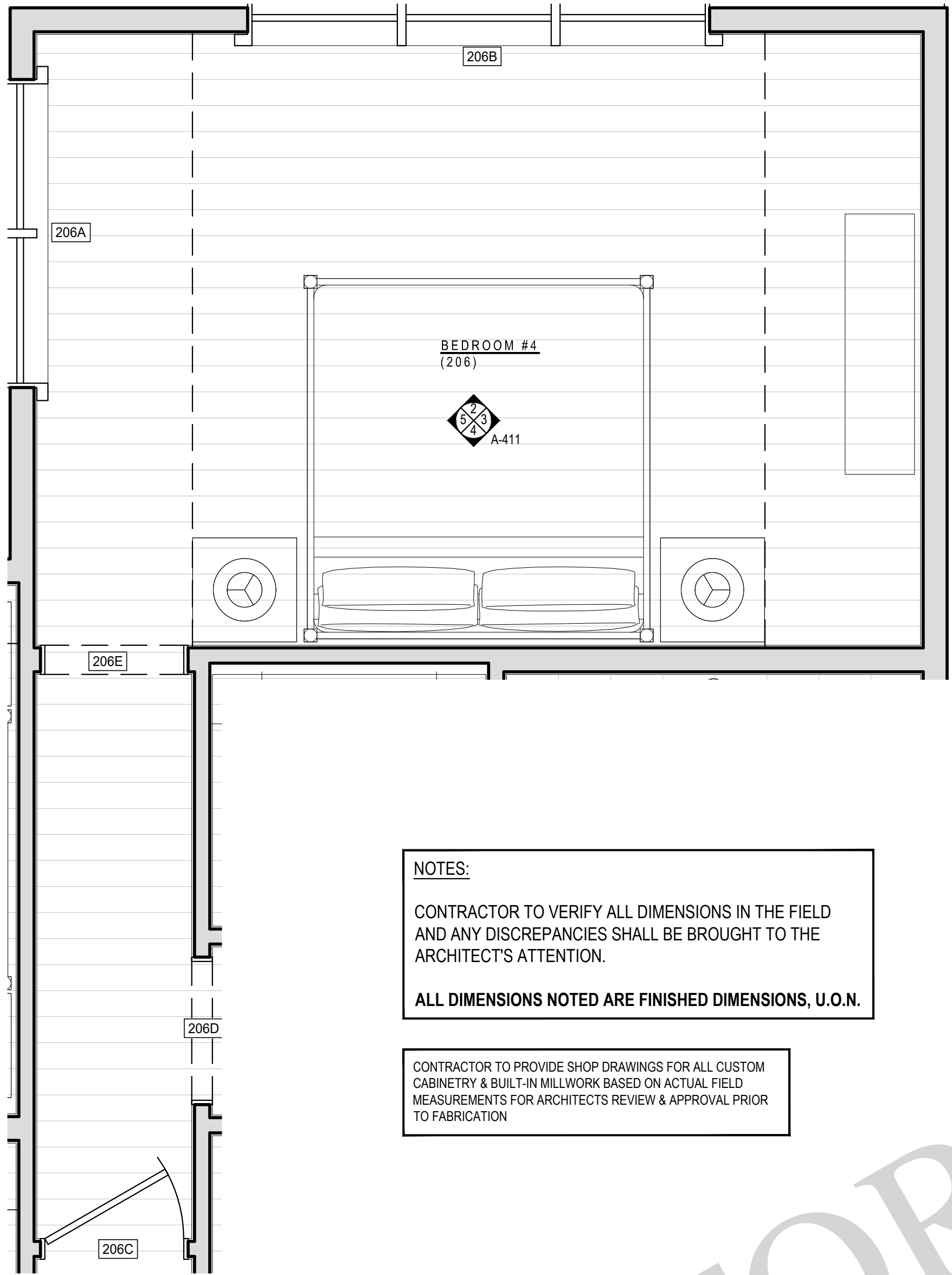
PROPOSED INTERIOR
ELEVATIONS - BUNK
ROOM

SCALE: AS NOTED

A-410

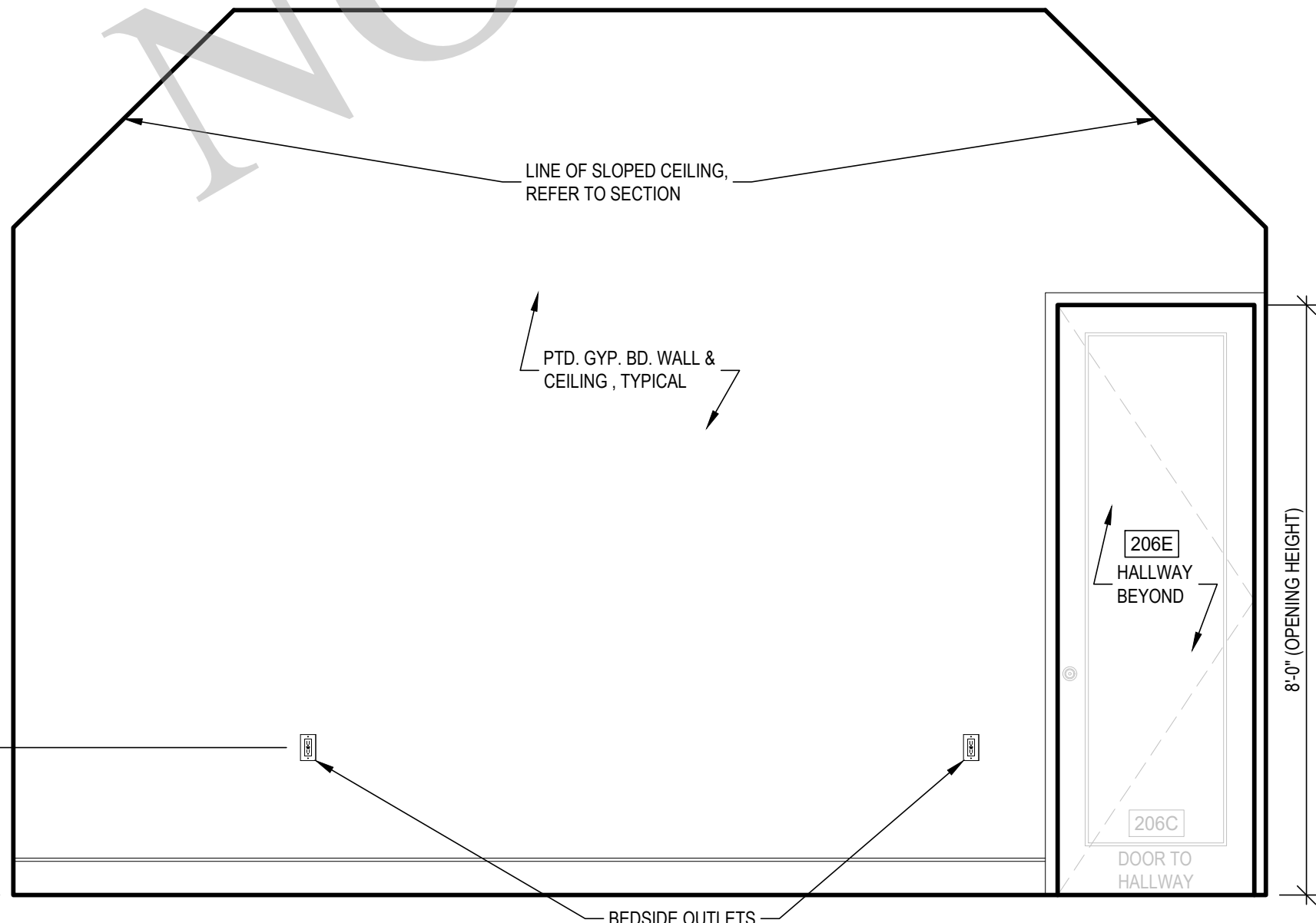
© JOSEPH PAGAC ARCHITECT PC

FILE NAME C:\Users\16318\Dropbox\JPA-CD Share\2209 LYSIAK\Drawings\2209-Interior.DWG SAVED ON 2/17/2025 2:36 PM PLOTTED ON 2/17/2025 2:57 PM PLOTTED BY CHRISTIAN DISILVESTRE

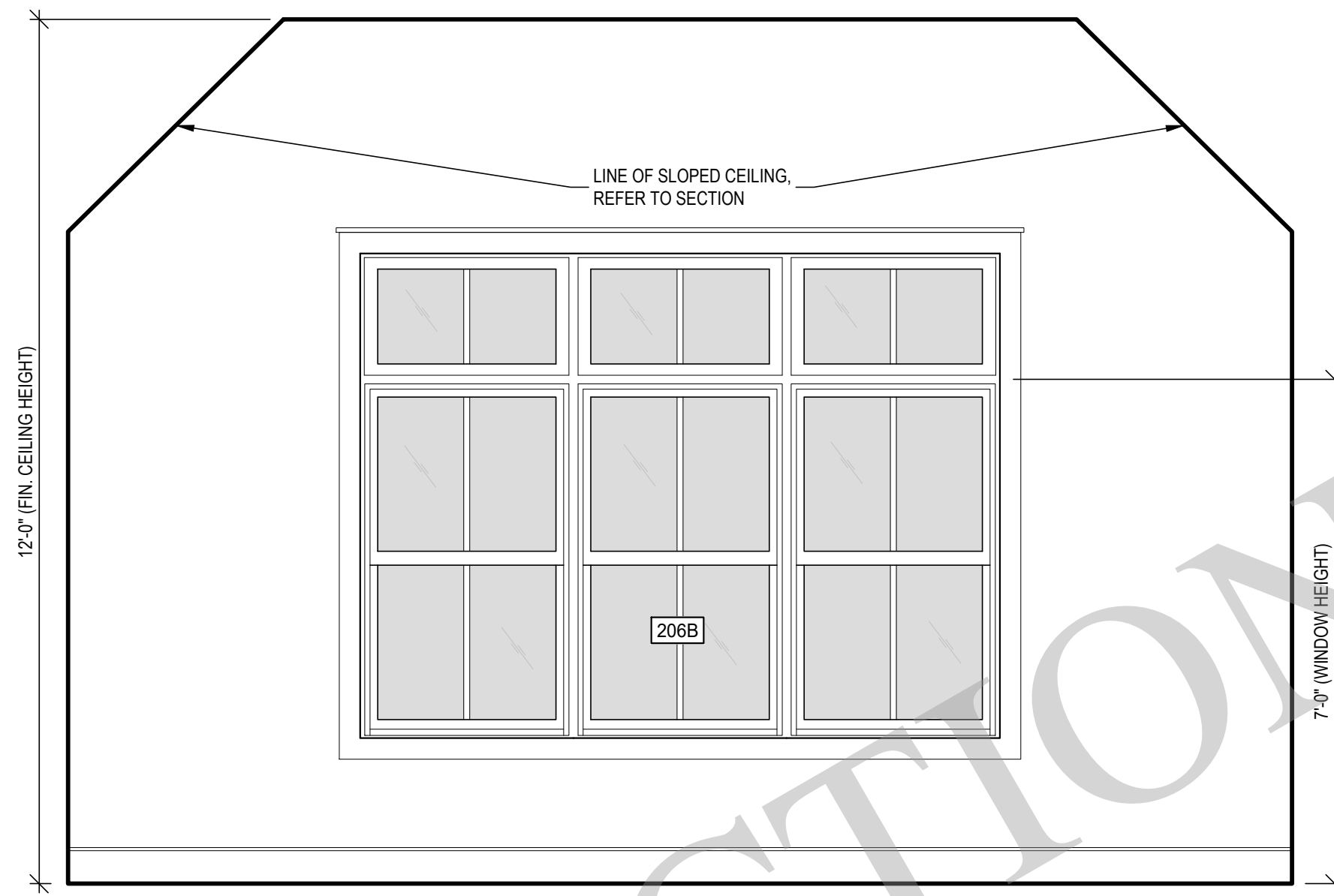


1 PROPOSED BEDROOM #4 PLAN
A-411
1/2" = 1'-0"

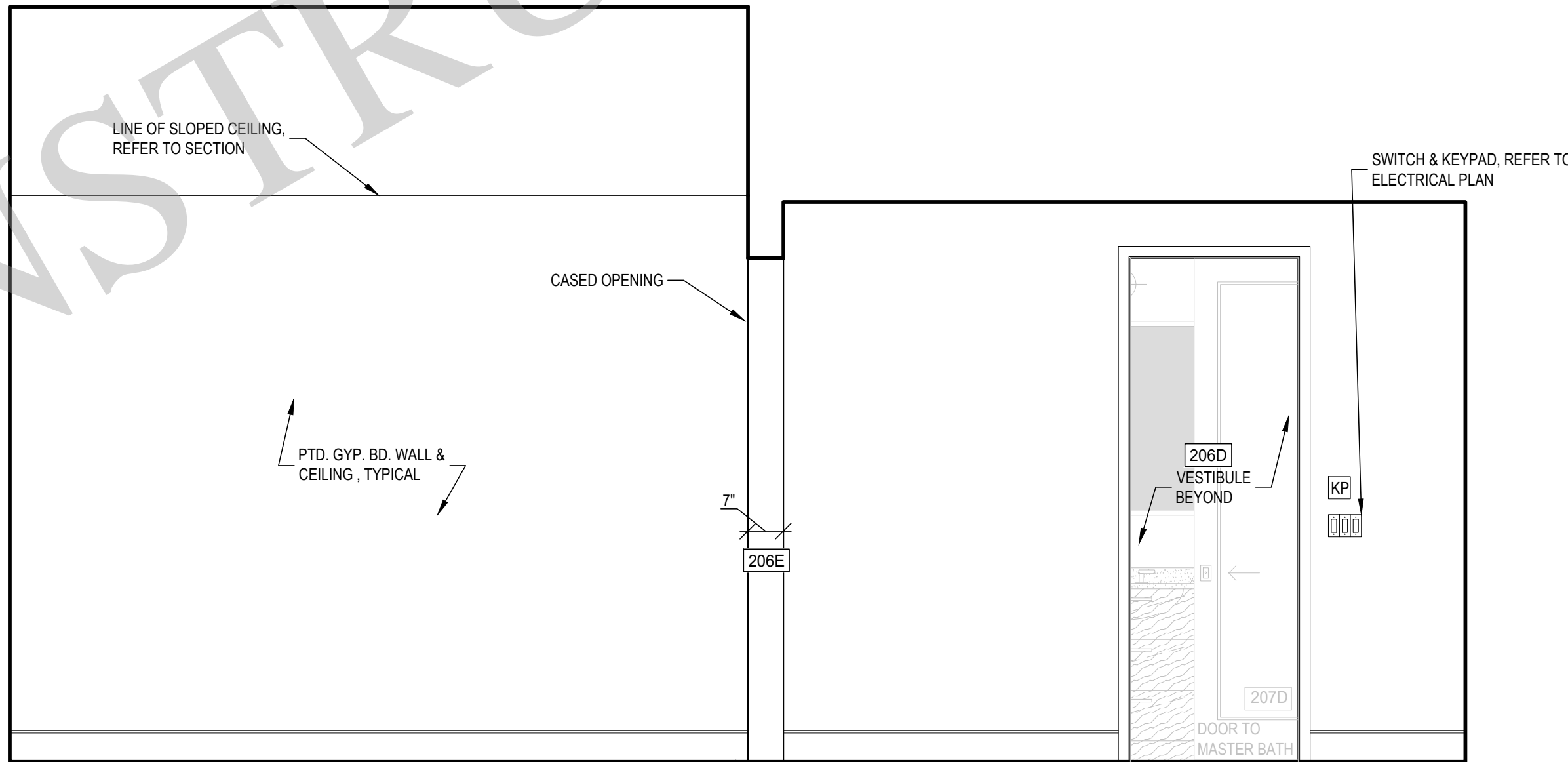
NOTES:
CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD
AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE
ARCHITECT'S ATTENTION.
ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.
CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM
CABINERY & BUILT-IN MILLWORK BASED ON ACTUAL FIELD
MEASUREMENTS FOR ARCHITECTS REVIEW & APPROVAL PRIOR
TO FABRICATION



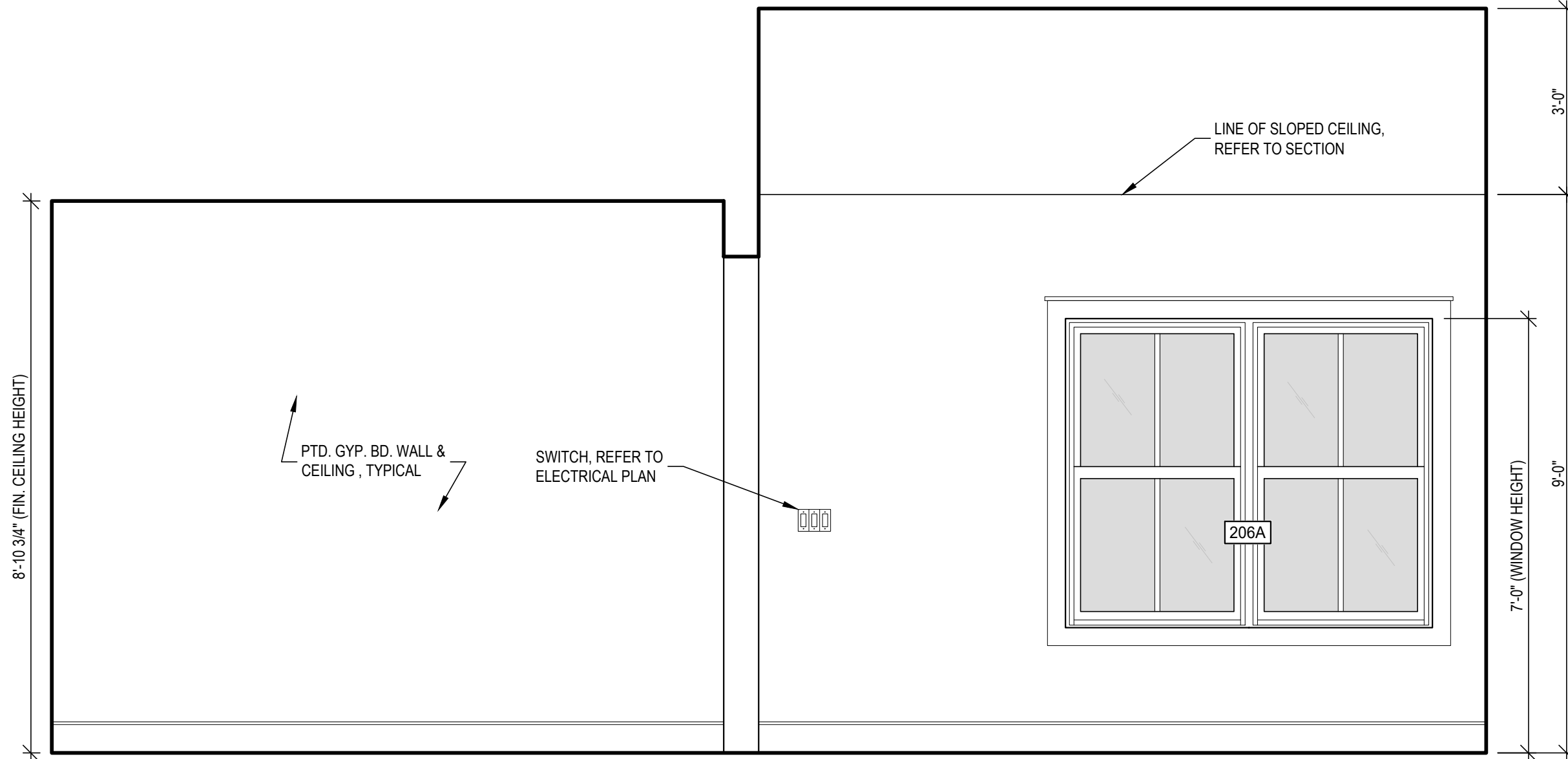
4 PROPOSED BEDROOM #4 ELEVATION
A-411
1/2" = 1'-0"



2 PROPOSED BEDROOM #4 ELEVATION
A-411
1/2" = 1'-0"



3 PROPOSED BEDROOM #4 ELEVATION
A-411
1/2" = 1'-0"



5 PROPOSED BEDROOM #4 ELEVATION
A-411
1/2" = 1'-0"

SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

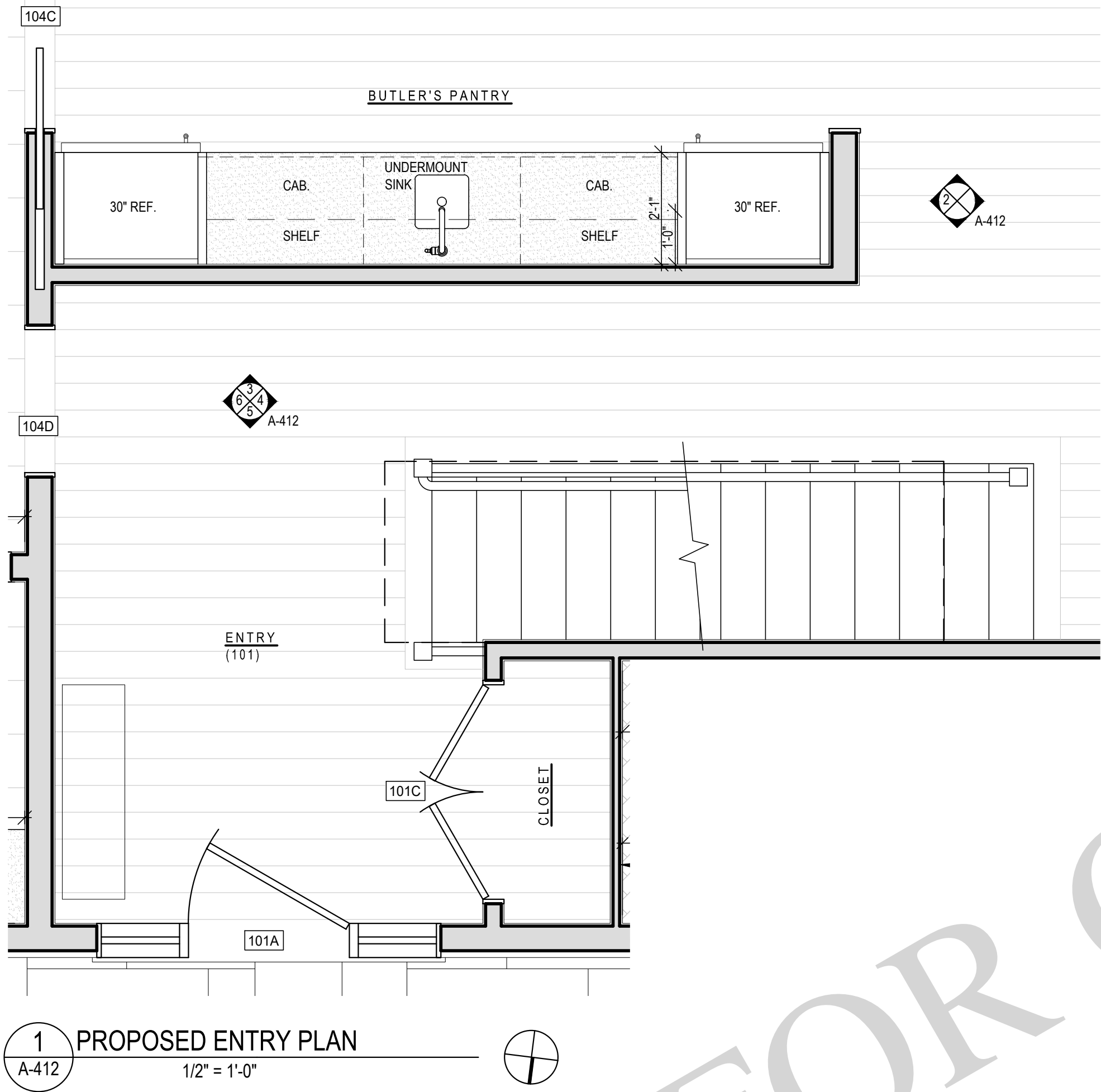
PROPOSED INTERIOR
ELEVATIONS -
BEDROOM #4

SCALE: AS NOTED

A-411

© JOSEPH PAGAC ARCHITECT PC

FILE NAME C:\Users\163181\Dropbox\JPA-CD Share\2209 - LYSIAK\Drawings\2209-Interior.DWG SAVED ON 2/17/2025 2:36 PM PLOTTED ON 2/17/2025 2:57 PM PLOTTED BY CHRISTIAN DISILVESTRE

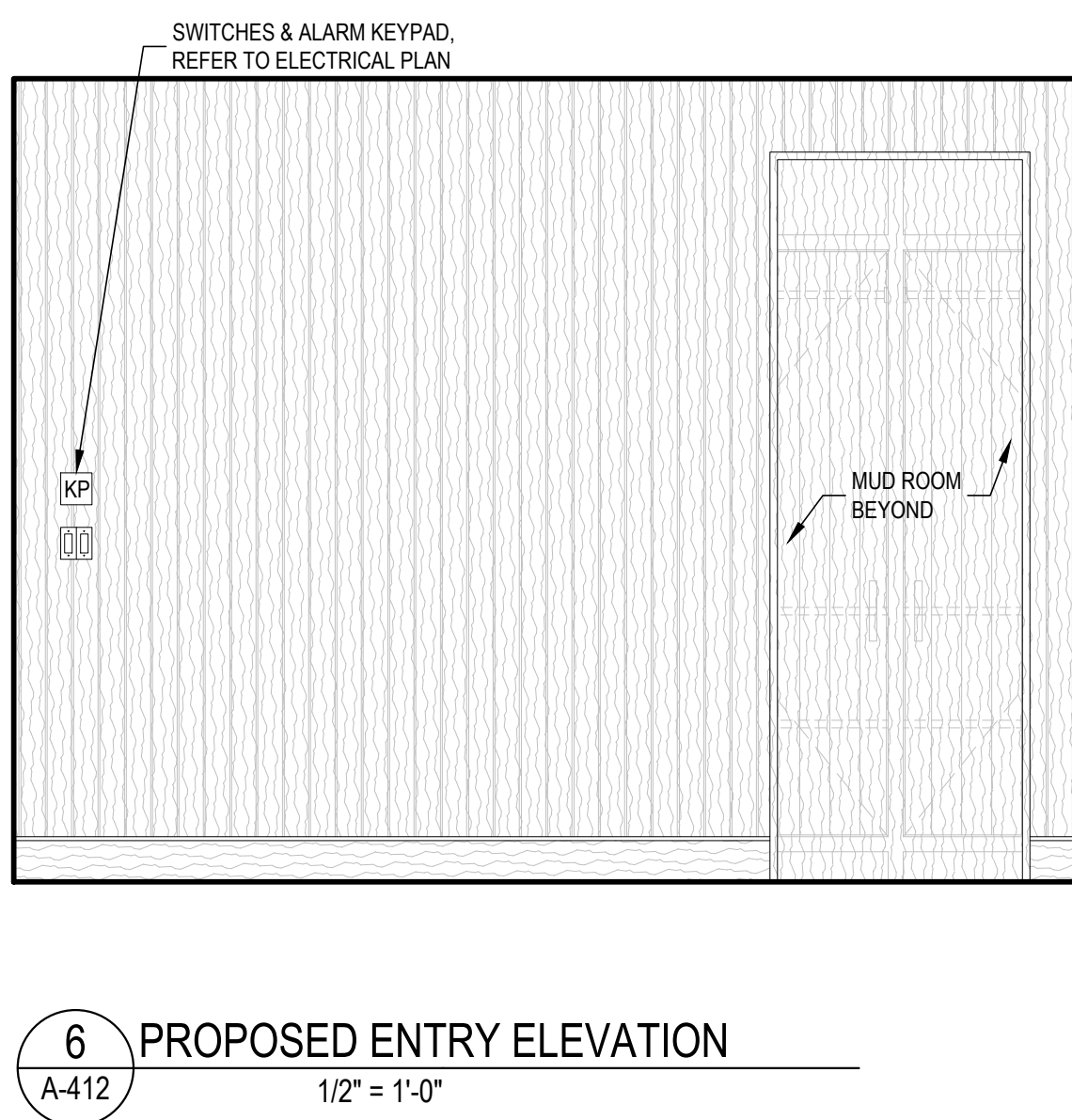
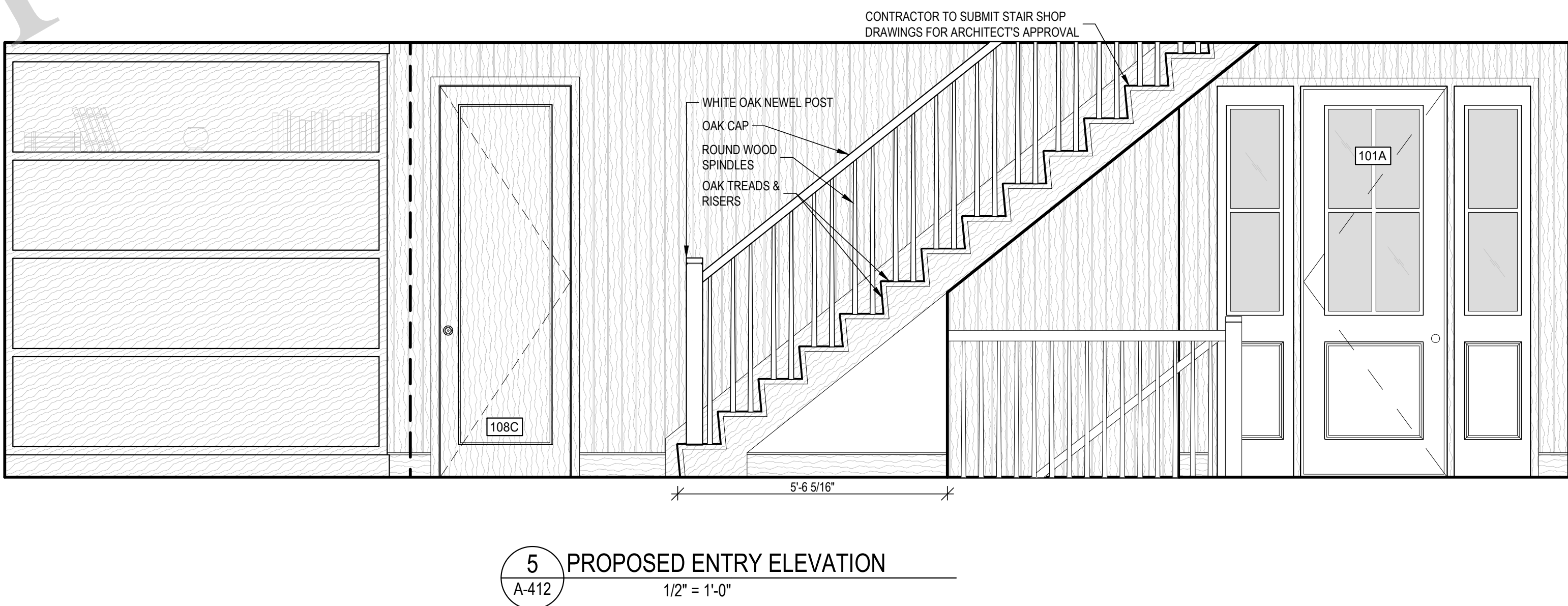
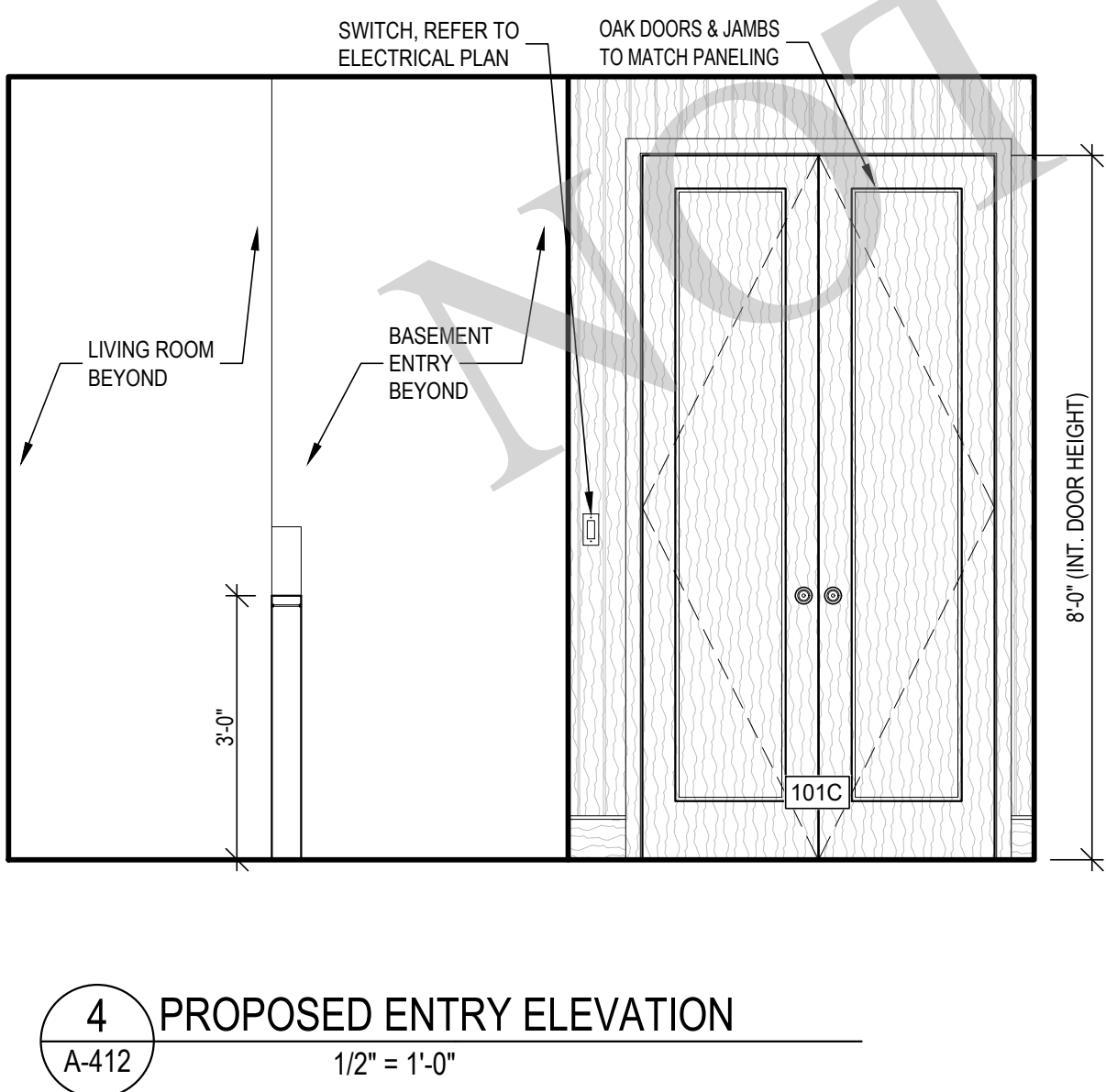
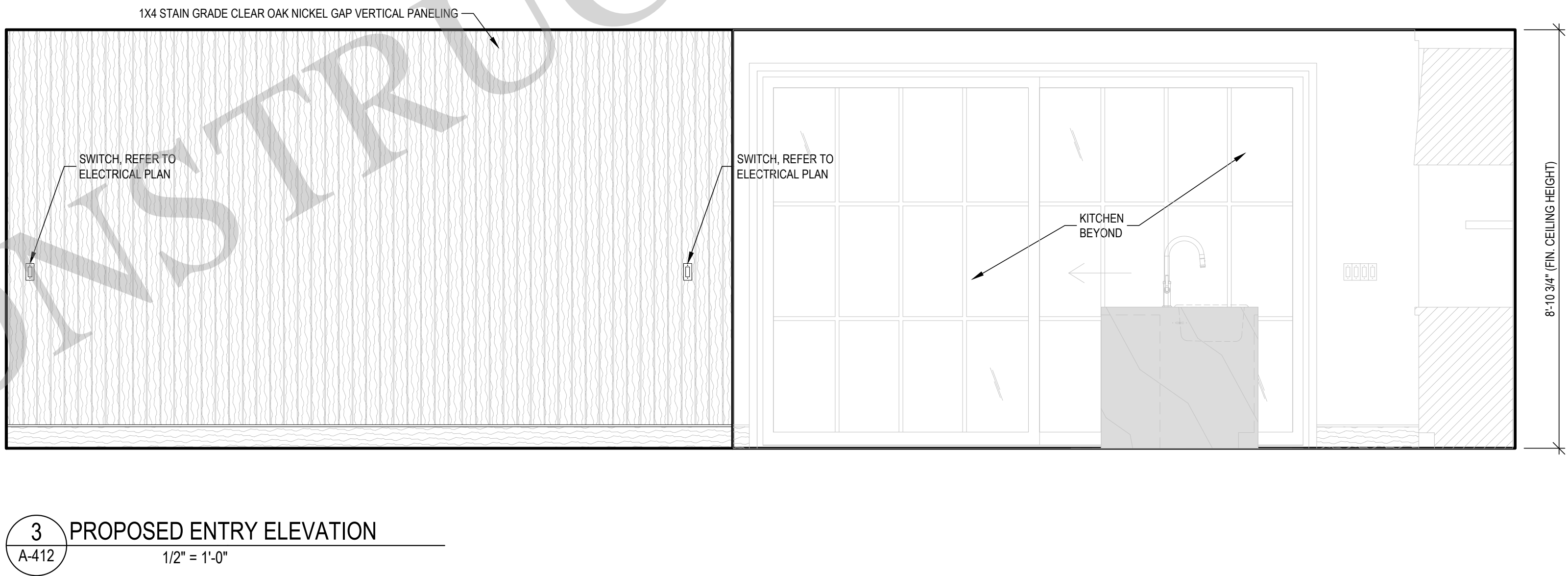
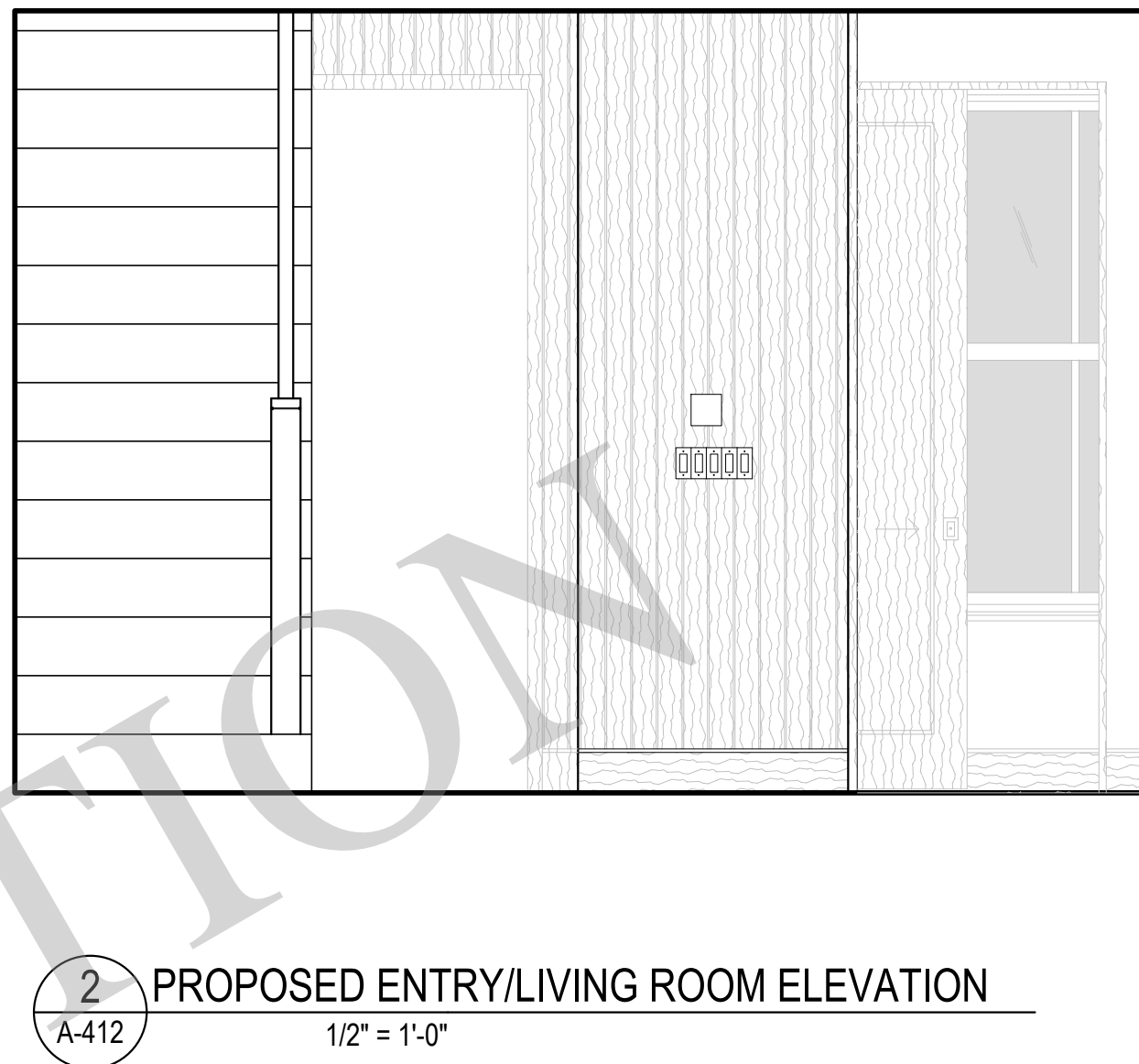


NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM CABINETY & BUILT-IN MILLWORK BASED ON ACTUAL FIELD MEASUREMENTS FOR ARCHITECTS REVIEW & APPROVAL PRIOR TO FABRICATION



ARCHITECT

JOSEPH PAGAC ARCHITECT P.C. JPA

16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

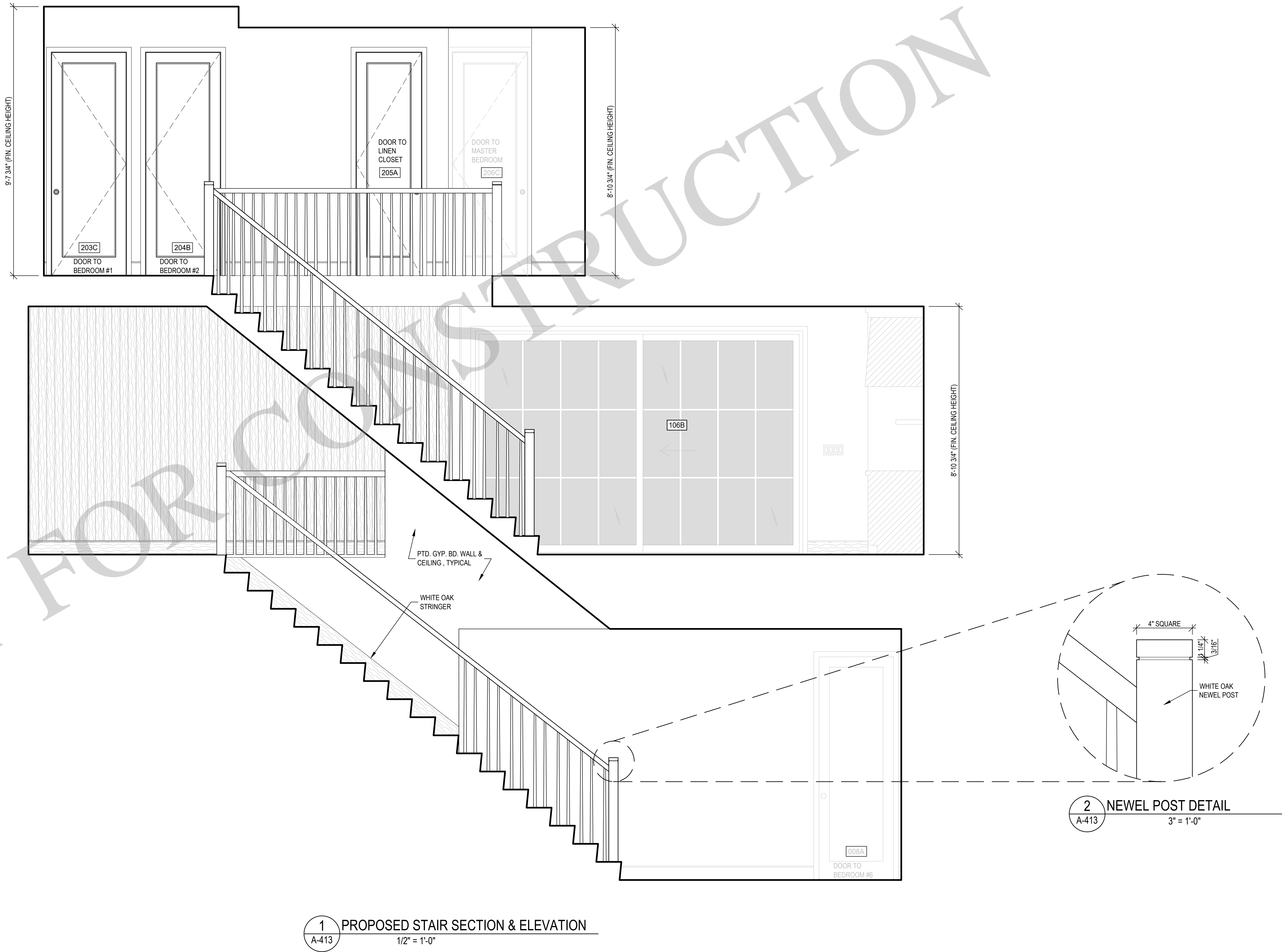
PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE
PROPOSED INTERIOR ELEVATIONS - ENTRY

SCALE: AS NOTED

A-412

© JOSEPH PAGAC ARCHITECT PC

FILE NAME C:\Users\163181\Dropbox\JPA-CD Share\2209 - LYSIAK\Drawings\2209-Interior.DWG SAVED ON 2/17/2025 2:36 PM PLOTTED ON 2/17/2025 2:58 PM PLOTTED BY CHRISTIAN D SILVESTRE



SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

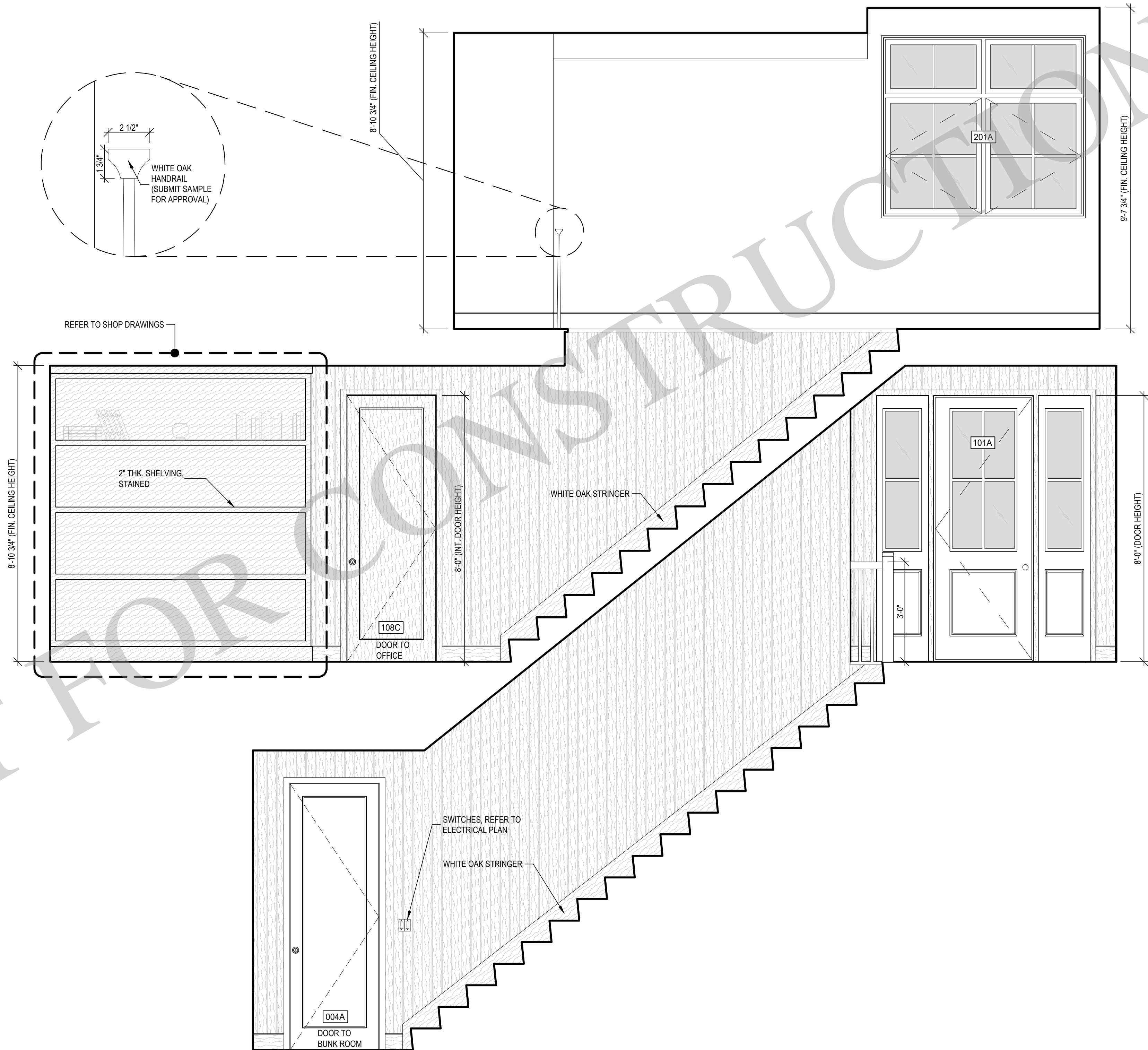
PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

**PROPOSED INTERIOR
ELEVATIONS &
SECTION - STAIRS**

SCALE: AS NOTED

A-413
© JOSEPH PAGAC ARCHITECT PC

FILE NAME C:\Users\163181\Dropbox\JPA-CD Share\2209 - LYSIAK\Drawings\2209-Interior.DWG SAVED ON 2/17/2025 2:36 PM PLOTTED ON 2/17/2025 2:58 PM PLOTTED BY CHRISTIAN DISILVESTRE



1 PROPOSED STAIR SECTION & ELEVATION
A-414 1/2" = 1'-0"

SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

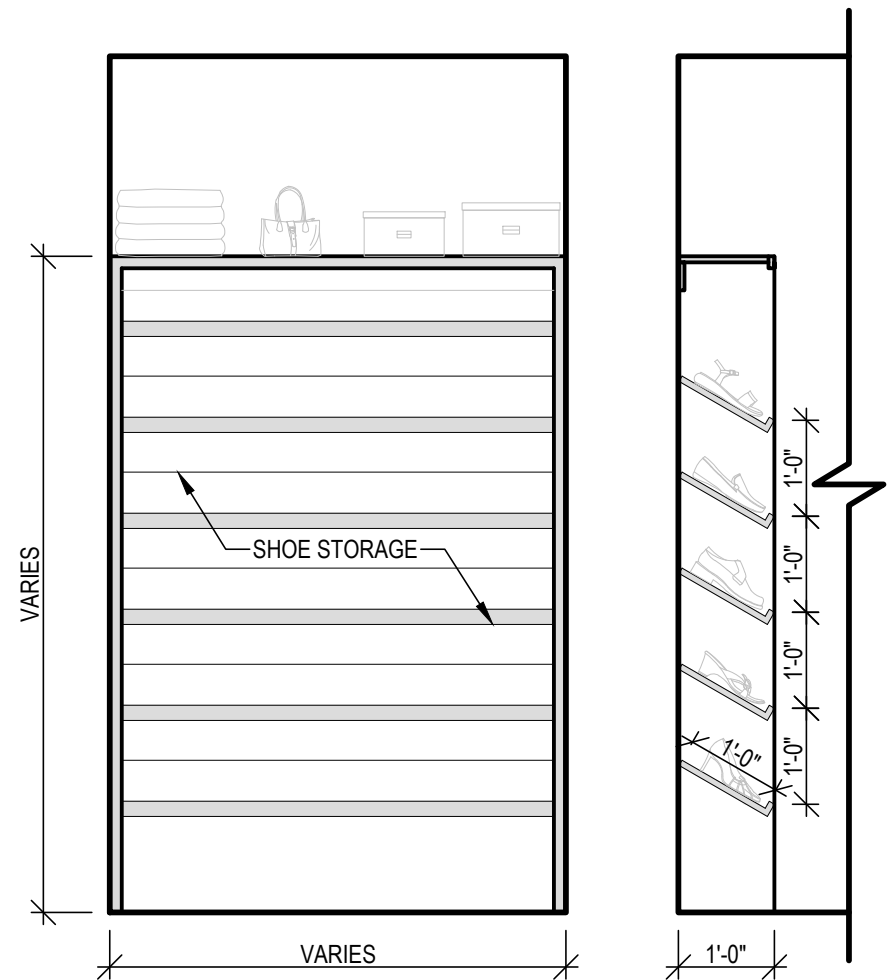
PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

**PROPOSED INTERIOR
ELEVATIONS &
SECTION - STAIRS**

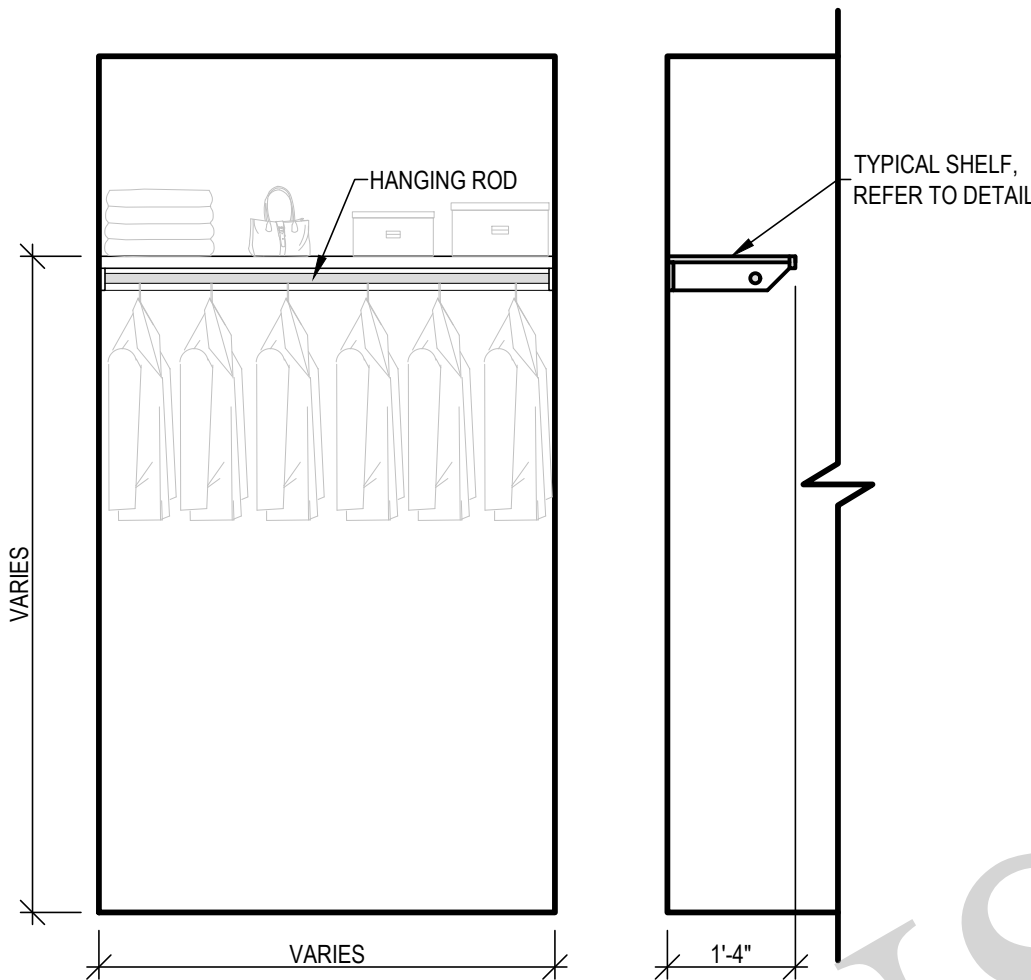
SCALE: AS NOTED

A-414

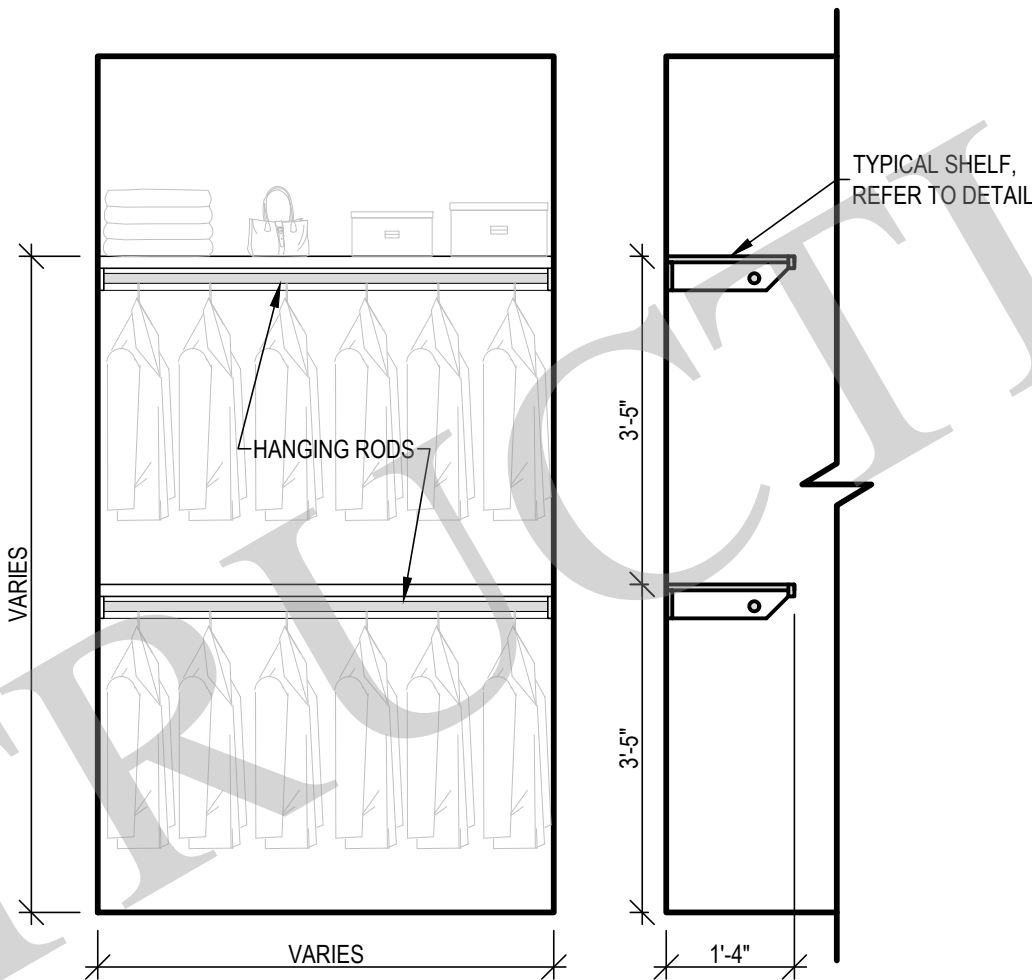
© JOSEPH PAGAC ARCHITECT PC



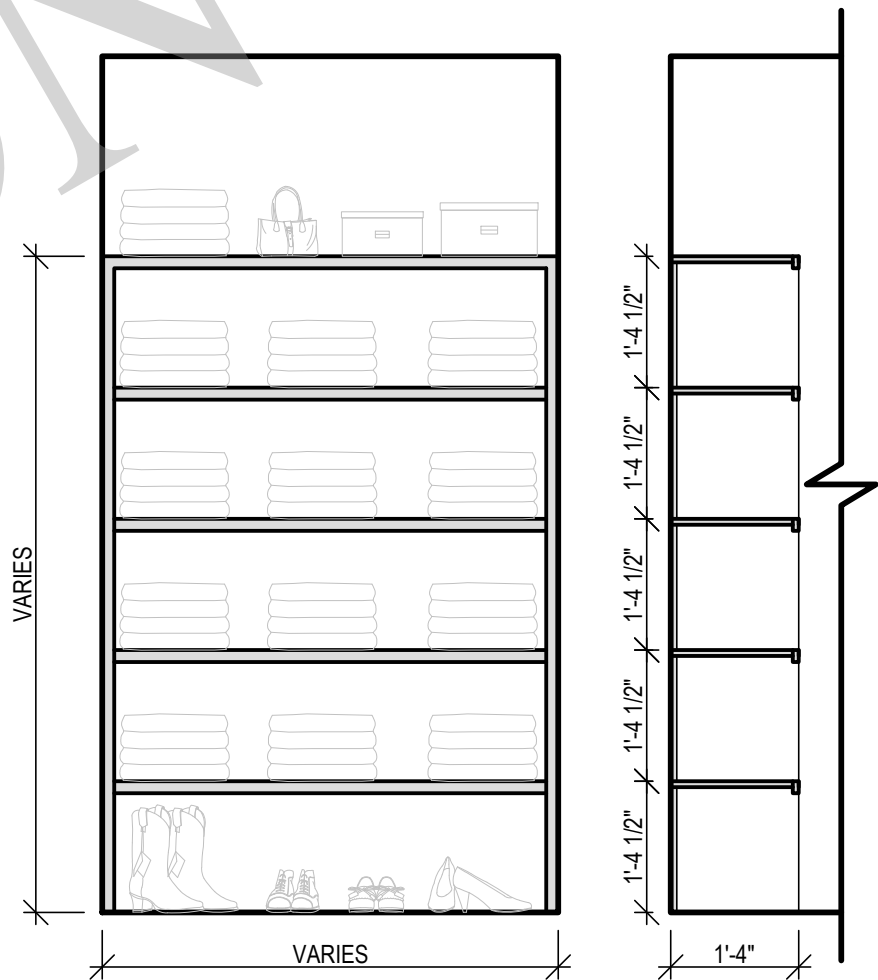
1 CLOSET - SHOE STORAGE WITH SHELF
A-415 1/2" = 1'-0"



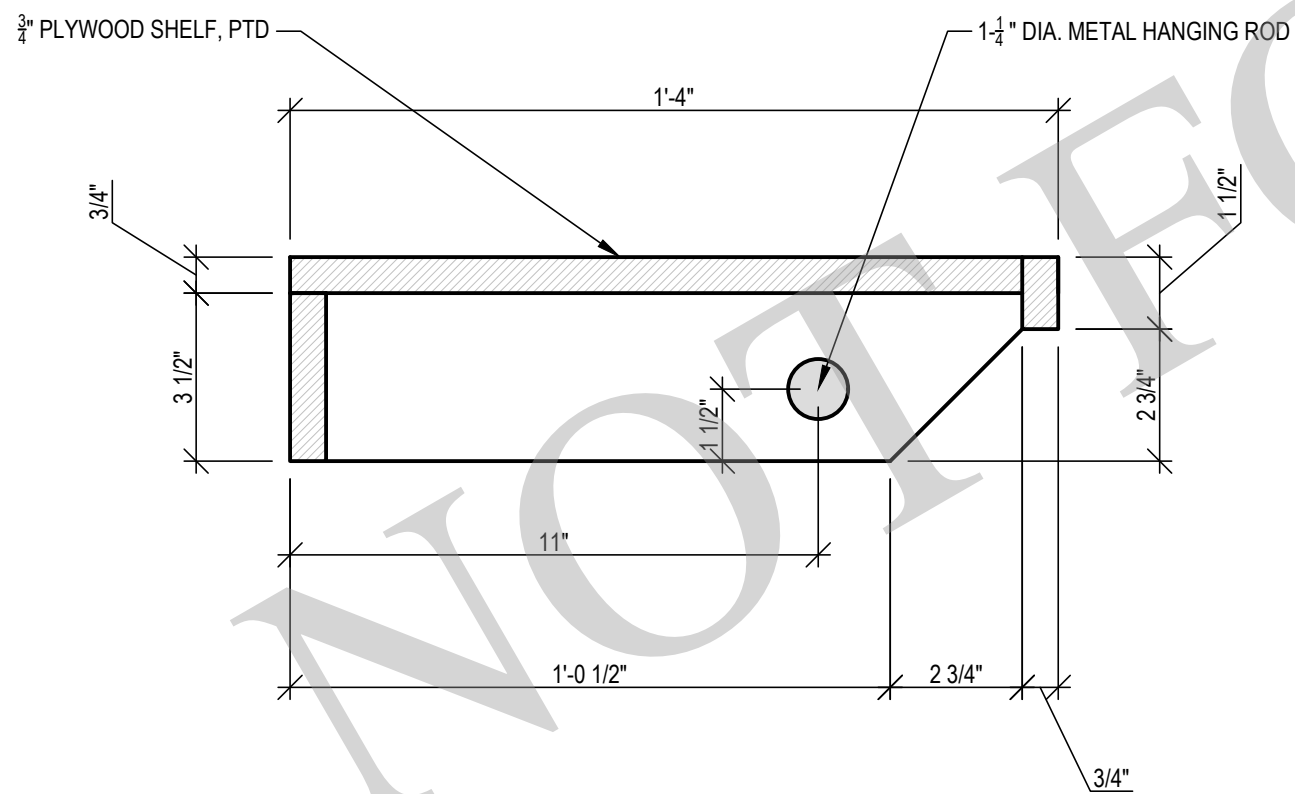
2 CLOSET - SINGLE HANGING WITH SHELF
A-415 1/2" = 1'-0"



3 CLOSET - DOUBLE HANGING WITH SHELF
A-415 1/2" = 1'-0"



4 CLOSET - ALL SHELIVING
A-415 1/2" = 1'-0"



5 TYPICAL SHELF DETAIL
A-415 3" = 1'-0"

CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM CABINETRY & BUILT-IN MILLWORK BASED ON ACTUAL FIELD MEASUREMENTS FOR ARCHITECTS REVIEW & APPROVAL PRIOR TO FABRICATION. ALL SHOP CABINETS TO BE PAINTED. VERIFY FINAL COLORS WITH ARCHITECT.

GENERAL CABINETRY NOTES:

- CABINETS TO BE PAINT GRADE SOLID WOOD & PLYWOOD.
- FACE FRAME & DOORS TO BE 1" THICK PAINT GRADE SOLID WOOD. DOOR STYLES AND PANEL STYLES TO BE REVIEWED AND APPROVED BY ARCHITECT AT MILLWORKER'S SHOP.
- CABINET INTERIORS TO BE CLEAR-FINISHED MAPLE, EXCEPT AT GLASS OR MESH CABINETS WHERE THEY ARE TO BE SHOP PAINTED, AS PER APPROVED SAMPLE.
- BOXES TO BE 3/4" PLYWOOD (SIDES, BOTTOM & BACK).
- DRAWERS TO HAVE UNDER-MOUNTED FULL EXTENSION SELF-CLOSING GLIDES. SELF-CLOSING CABINET GLIDES TO BE BLUM TANDEM PLUS BLUMOTION, UNDERMOUNTED (BLUM #563).
- ADJUSTABLE GLASS SHELVES TO BE 3/8" THICK GLASS, MOUNTED ON GLASS SUPPORTS, HAFELE #281.40.703 (STEEL WITH TRANSPARENT PLASTIC CAP), PIN HOLES TO BE DRILLED 2" O.C. IN FULL HEIGHT.
- ADJUSTABLE WOOD SHELVES TO BE 3/4" THICK WITH SOLID WOOD EDGES MOUNTED ON 5 MM SHELF PINS (CHROME FINISH), PIN HOLES TO BE DRILLED 2" O.C. IN FULL HEIGHT.
- PULL OUT TRAYS/SHELVES TO BE 3/4" THICK WITH 2" HIGH LIP ON (4) SIDES, WITH SOLID WOOD EDGES, ON SIDE-MOUNTED FULL EXTENSION SELF-CLOSING GLIDES.
- ALL DOORS TO HAVE FULLY MORTISED MAGNETIC CATCHES.
- DOOR/DRAWER PULLS TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
- CABINETS TO BE FLUSH CONSTRUCTION WITH EXPOSED HINGES. HINGES PROVIDED BY OWNER, SPEC TBD.
- CABINETS TO BE SHOP PRIMED AND PAINTED AS PER APPROVED SAMPLE, COLOR TBD.

NOTE: CLOSET INTERIOR DETAILS & LOCATIONS TO BE REVIEWED WITH ARCHITECT & OWNER PRIOR TO INSTALLATION

SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

CLOSET INTERIORS

SCALE: AS NOTED

A-415

FILE NAME C:\Users\JPDS\OneDrive\Dropbox\JPA-CD Share\2209 LYSAKDrawings\2209-Con Docs.dwg SAVED ON 2/17/2025 3:02 PM PLOTTED ON 2/17/2025 3:05 PM PLOTTED BY JPDS

NOTE:
CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW OF ALL DOORS & WINDOWS PRIOR TO ORDERING.

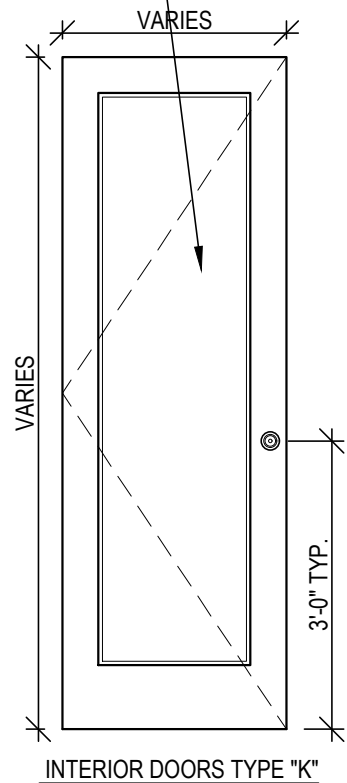
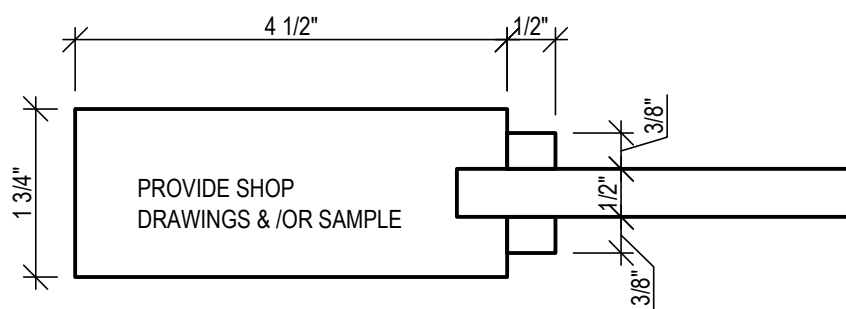
INTERIOR DOOR SCHEDULE

PROJECT LOCATION: 40 PROSPECT STREET, SOUTHAMPTON, NY 11968
PROJECT NO: 2209
PREPARED BY: JOSEPH PAGAC ARCHITECT
DATE: 2/17/2025

NOTES:
1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD
2. CONTRACTOR IS RESPONSIBLE FOR DETERMINING HANDLING OF HINGES & DOOR HARDWARE
3. CONTRACTOR TO SUBMIT SHOP DRAWINGS AND/OR CUT SHEETS TO ARCHITECT FOR REVIEW & APPROVAL OF ALL DOORS, DOOR ASSEMBLIES & DOOR HARDWARE PRIOR TO ORDERING
4. ALL 6'-0" & 7'-0" DOORS TO BE HUNG ON (3) HINGES; ALL 8'-0" DOORS TO BE HUNG ON (4) HINGES, UNLESS OTHERWISE NOTED

BASEMENT												
DOOR TAG	LOCATION	TYPE	MANUFACTURER	DOOR SIZE (W. x HT. x TH.)	DOOR MATERIAL / FINISH	JAMB DETAIL	JAMB/TRIM MATERIAL / FINISH	HARDWARE TYPE	HARDWARE FINISH	HINGE	HINGE FINISH	REMARKS
002A	BATH #5	K	TRUSTILE / OR EQUAL	2'-4" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PRIVACY	BLACK	2 PAIR	BLACK	
003B	BEDROOM #5	K	TRUSTILE / OR EQUAL	2'-8" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PRIVACY	BLACK	2 PAIR	BLACK	
004A	MECH / UTILITY ROOM	K	TRUSTILE / OR EQUAL	2'-8" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PASSAGE	BLACK	2 PAIR	BLACK	
005A	LAUNDRY ROOM	K	TRUSTILE / OR EQUAL	2'-8" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PASSAGE	BLACK	2 PAIR	BLACK	
005B		OMTTED										
006A	STORAGE	K	TRUSTILE / OR EQUAL	2'-8" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PASSAGE	BLACK	2 PAIR	BLACK	
008A	BEDROOM #6	K	TRUSTILE / OR EQUAL	2'-8" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PRIVACY	BLACK	2 PAIR	BLACK	
008C	BEDROOM #6	K	TRUSTILE / OR EQUAL	2'-4" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PASSAGE	BLACK	2 PAIR	BLACK	
FIRST FLOOR												
DOOR TAG	LOCATION	TYPE	MANUFACTURER	DOOR SIZE (W. x HT. x TH.)	DOOR MATERIAL / FINISH	JAMB DETAIL	JAMB/TRIM MATERIAL / FINISH	HARDWARE TYPE	HARDWARE FINISH	HINGE	HINGE FINISH	REMARKS
101C	ENTRY (CLOSET)	K	TRUSTILE / OR EQUAL	(2) 2'-0" x 8'-0" (1 3/4" TH.)	RIFT SAWN WHITE OAK, STAINED	A	WHITE OAK, STAINED, SEE SK-09	DUMMY CLOSET	BLACK	4 PAIR	BLACK	
102B	POWDER ROOM	K	TRUSTILE / OR EQUAL	2'-4" x 8'-0" (1 3/4" TH.)	RIFT SAWN WHITE OAK, STAINED	A	WHITE OAK, STAINED, SEE SK-09	PRIVACY	BLACK	2 PAIR	BLACK	
103A		NOT USED										
104C	MUD ROOM	K	TRUSTILE / OR EQUAL	3'-0" x 8'-0" (1 3/4" TH.)	RIFT SAWN WHITE OAK, STAINED	C	WHITE OAK, STAINED, SEE SK-09	POCKET PASSAGE	BLACK	-	-	
104D	MUD ROOM	-	-	2'-8" x 8'-0"	N/A	B	WHITE OAK, STAINED, SEE SK-09	-	-	-	-	TRIMMED OPENING
108C	OFFICE	K	TRUSTILE / OR EQUAL	2'-8" x 8'-0" (1 3/4" TH.)	RIFT SAWN WHITE OAK, STAINED	A	WHITE OAK, STAINED, SEE SK-09	PRIVACY	BLACK	2 PAIR	BLACK	
109A	BATH #1	K	TRUSTILE / OR EQUAL	2'-4" x 8'-0" (1 3/4" TH.)	RIFT SAWN WHITE OAK, STAINED	A	WHITE OAK, STAINED, SEE SK-09	PRIVACY	BLACK	2 PAIR	BLACK	
109B		NOT USED										
SECOND FLOOR												
DOOR TAG	LOCATION	TYPE	MANUFACTURER	DOOR SIZE (W. x HT. x TH.)	DOOR MATERIAL / FINISH	JAMB DETAIL	JAMB/TRIM MATERIAL / FINISH	HARDWARE TYPE	HARDWARE FINISH	HINGE	HINGE FINISH	REMARKS
202B	BATH #2	K	TRUSTILE / OR EQUAL	2'-4" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PRIVACY	BLACK	2 PAIR	BLACK	
202C	BATH #2 SHOWER	TBD		42" x 80"	TEMPERED GLASS		STONE		MATCH BATHROOM		MATCH BATHROOM	SUBMIT SHOP DRAWINGS
203C	BEDROOM #1	K	TRUSTILE / OR EQUAL	2'-8" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PRIVACY	BLACK	2 PAIR	BLACK	
203D	BEDROOM #1 (CLOSET)	K	TRUSTILE / OR EQUAL	2'-4" x 8'-0" (1 3/4" TH.)	PAINT GRADE	D	PAINT GRADE, SEE SK-09	POCKET PASSAGE	BLACK	-	-	
204B	BEDROOM #2	K	TRUSTILE / OR EQUAL	2'-8" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PRIVACY	BLACK	2 PAIR	BLACK	
204C	BEDROOM #2 (CLOSET)	K	TRUSTILE / OR EQUAL	2'-4" x 8'-0" (1 3/4" TH.)	PAINT GRADE	D	PAINT GRADE, SEE SK-09	POCKET PASSAGE	BLACK	-	-	
205A	LINEN CLOSET	K	TRUSTILE / OR EQUAL	2'-4" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PASSAGE	BLACK	2 PAIR	BLACK	
206C	BEDROOM #4	K	TRUSTILE / OR EQUAL	2'-8" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PRIVACY	BLACK	2 PAIR	BLACK	
206D	BEDROOM #4 HALL (TRIMMED OPG)	-	-	2'-8" x 8'-0"	N/A	E	PAINT GRADE, SEE SK-09	-	-	-	-	TRIMMED OPENING
206E	BEDROOM #4 HALL (TRIMMED OPG)	-	-	2'-8" x 8'-0"	N/A	E	PAINT GRADE, SEE SK-09	-	-	-	-	TRIMMED OPENING
207B	MASTER BATHROOM COMMODORE ROOM	K	TRUSTILE / OR EQUAL	2'-4" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PRIVACY	BLACK	2 PAIR	BLACK	
207C	MASTER BATHROOM SHOWER	TBD		28" x 80"	TEMPERED GLASS		STONE		MATCH BATHROOM		MATCH BATHROOM	SUBMIT SHOP DRAWINGS
207D	MASTER BATHROOM	K	TRUSTILE / OR EQUAL	2'-8" x 8'-0" (1 3/4" TH.)	PAINT GRADE	D	PAINT GRADE, SEE SK-09	POCKET PRIVACY	BLACK	-	-	
208A	WALK-IN CLOSET (TRIMMED OPG)	-	-	2'-4" x 8'-0"	N/A	E	PAINT GRADE, SEE SK-09	-	-	-	-	TRIMMED OPENING
209A	WALK-IN CLOSET (TRIMMED OPG)	-	-	2'-4" x 8'-0"	N/A	E	PAINT GRADE, SEE SK-09	-	-	-	-	TRIMMED OPENING
210A	LAUNDRY CLOSET	K	TRUSTILE / OR EQUAL	(2) 1'-6" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	DUMMY CLOSET	BLACK	4 PAIR	BLACK	
211D	BEDROOM #3	K	TRUSTILE / OR EQUAL	2'-8" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PRIVACY	BLACK	2 PAIR	BLACK	
211E	BEDROOM #3 (CLOSET)	K	TRUSTILE / OR EQUAL	(2) 2'-4" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	DUMMY CLOSET	BLACK	4 PAIR	BLACK	
212B	BATH #3	K	TRUSTILE / OR EQUAL	2'-4" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PRIVACY	BLACK	2 PAIR	BLACK	
212C	BATH #3 SHOWER	TBD		60" x 80"	TEMPERED GLASS		STONE		MATCH BATHROOM			SUBMIT SHOP DRAWINGS
POOL HOUSE												
DOOR TAG	LOCATION	TYPE	MANUFACTURER	DOOR SIZE (W. x HT. x TH.)	MATERIAL / FINISH	JAMB DETAIL	JAMB/TRIM MATERIAL / FINISH	HARDWARE TYPE	HARDWARE FINISH	HINGE	HINGE FINISH	REMARKS
PH-4	POOL BATH	K	TRUSTILE / OR EQUAL	2'-4" x 8'-0" (1 3/4" TH.)	PAINT GRADE	A	PAINT GRADE, SEE SK-09	PRIVACY	BLACK	2 PAIR	BLACK	
PH-5	POOL HOUSE VEST (TRIMMED OPG)	-	-	3'-0" x 8'-0"	N/A	B (SIMILAR)	PAINT GRADE, SEE SK-09	-	-	-	-	TRIMMED OPENING

INTERIOR DOOR PRICING SPECIFICATIONS (CONFIRM SPECS PRIOR TO ORDERING)
DOOR MANUFACTURER - TRU-STILE, OR APPROVED EQUAL
DOOR HARDWARE - EMTEK LEVER
DOOR HINGES - EMTEK 4"x4" SQUARE BUTT HINGES (OR APPROVED EQUAL)
DOOR STOPS - PROVIDE \$25 ALLOWANCE PER DOOR
POCKET DOOR TRACK - CAVITY SLIDER ULTIMATE AS MANUFACTURED BY 'CAVITY SLIDERS USA'
POCKET DOOR PASSAGE HARDWARE - (2) BALDWIN 0458 PULLS, (1) BALDWIN 0465 EDGE PULL
POCKET DOOR LOCKING HARDWARE - EMTEK 2104 POCKET DOOR MORTISE LOCK



1
A-600
1/2" = 1'-0"

INTERIOR DOOR TYPE

2
A-600
INTERIOR DOOR SCHEDULE

SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

INTERIOR DOOR
SCHEDULE

SCALE: AS NOTED

A-600

© JOSEPH PAGAC ARCHITECT PC

FILE NAME C:\Users\16318\Dropbox\JPA-CD Share\2209\1\SI\AKDrawings\2209-Electrical.dwg SAVED ON 11/17/2025 10:21 AM PLOTTED ON 2/17/2025 3:14 PM PLOTTED BY CHRISTIAN DISILVESTRE

AV NOTES:

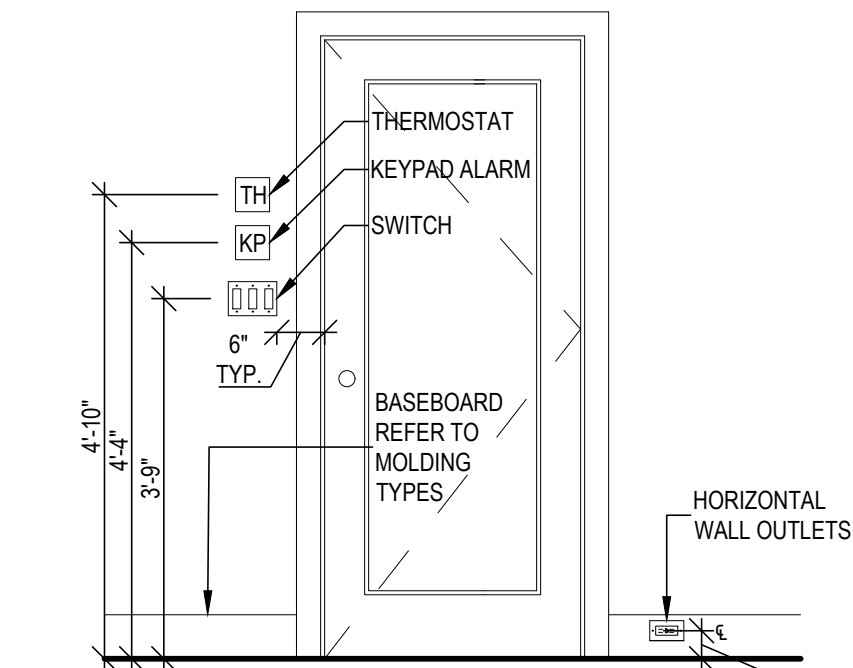
1. CONTRACTOR TO PROVIDE AN ALLOWANCE OF \$7,500 TO RUN A/V WIRING AS INDICATED ON A/V PLANS. WIRING TO BE SUPPLIED BY A/V CONSULTANT. A/V FIXTURES & ACCESSORIES TO BE SUPPLIED AND INSTALLED BY A/V CONSULTANT.

LIGHTING & ELECTRICAL GENERAL NOTES:

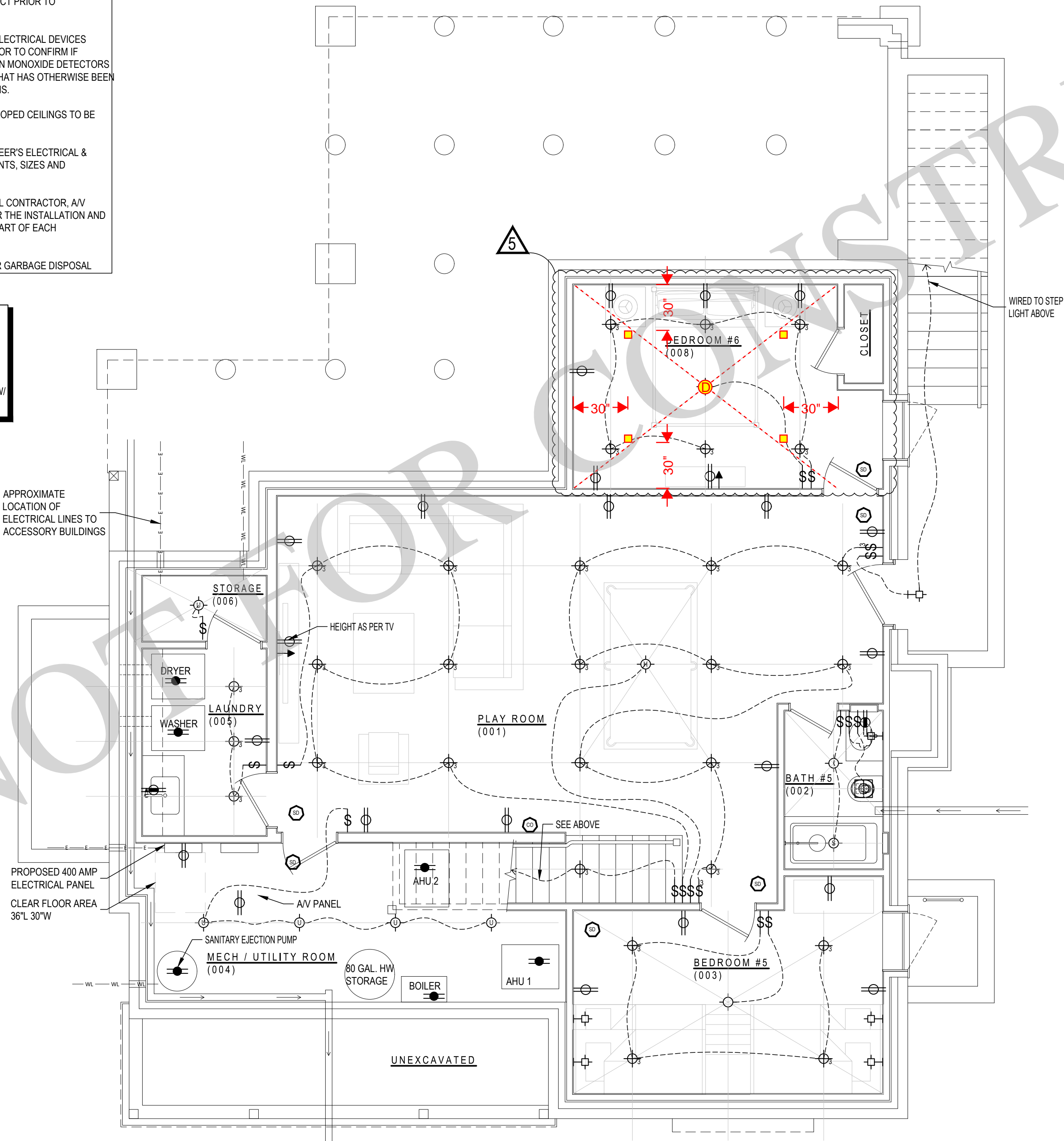
1. COORDINATE ELECTRICAL PLANS WITH REFLECTED CEILING PLANS AND INTERIOR ELEVATIONS FOR ALL FIXTURE, OUTLET & SWITCH LOCATIONS. CONFIRM EACH LOCATION WITH ARCHITECT PRIOR TO FINAL INSTALLATION.
2. CONTRACTOR TO COORDINATE FULL ELECTRICAL & LIGHTING SCOPE OF WORK WITH LIGHTING CONSULTANT, A/V CONSULTANT, SECURITY CONSULTANT, INTERIOR DESIGNER & ARCHITECT.
3. RECESS ALL APPLIANCE OUTLETS AND REFER TO MANUFACTURER FOR SPECIFICATIONS AND FINAL LOCATIONS.
4. CONTRACTOR SHALL INSTALL ALL FIXTURES SUPPLIED BY THE OWNER AS PER LIGHTING FIXTURE SCHEDULE.
5. CONTRACTOR TO CONFIRM COVER SWITCH, OUTLET & DIMMER STYLES WITH ARCHITECT. ALL SWITCHES AND KEY PAD TYPES TO BE CONFIRMED.
6. ALL REMOTE TRANSFORMERS FOR LOW VOLTAGE/LED LIGHTING TO BE LOCATED ON SITE WITH ARCHITECT.
7. CONTRACTOR TO REVIEW FINAL LOCATIONS FOR THERMOSTATS AND TEMPERATURE SENSORS ON SITE WITH ARCHITECT PRIOR TO INSTALLATION.
8. CONTRACTOR TO VERIFY LIGHT FIXTURES AND ELECTRICAL DEVICES COUNT ON ALL FLOORS. ELECTRICAL CONTRACTOR TO CONFIRM IF ADDITIONAL SMOKE DETECTORS AND/OR CARBON MONOXIDE DETECTORS ARE REQUIRED AS PER BUILDING CODE FROM WHAT HAS OTHERWISE BEEN INDICATED ON THE PROPOSED ELECTRICAL PLANS.
9. ALL RECESSED LIGHT FIXTURES INSTALLED IN SLOPED CEILINGS TO BE GIMBAL TYPE DOWNLIGHT FIXTURES
10. CONTRACTOR TO REFER TO MECHANICAL ENGINEER'S ELECTRICAL & POWER PLANS FOR ALL EQUIPMENT REQUIREMENTS, SIZES AND SPECIFICATIONS.
11. CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR, A/V CONTRACTOR, AND SECURITY CONTRACTOR FOR THE INSTALLATION AND THE RUNNING OF ALL LOW VOLTAGE WIRES AS PART OF EACH CONTRACTOR'S SCOPE OF WORK.
12. PROVIDE OUTLET AS REQUIRED UNDER SINK FOR GARBAGE DISPOSAL

RECESSED LIGHTING COORDINATION:

COORD. LAYOUT OF FLOOR JOISTS W/ RECESSED LIGHTING LAYOUT PER ARCH. DWGS. JOIST LOCATION MAY BE ADJUSTED TO ACCOMMODATE LIGHTING. DO NOT NOTCH JOISTS/BEAMS OR ADJUST BEAM LOCATIONS WITHOUT REVIEWING W/ ARCHITECT / ENGINEER.



2 ELEV DIAGRAM AT TYP. WALL DEVICES
N.T.S.



1 PROPOSED BASEMENT ELECTRICAL PLAN
E-100 1/4" = 1'-0"

ELECTRICAL LEGEND

ITEM #	SYMBOL	TYPE	MANUFACTURER	MODEL #	NOTES
1		DUPLEX RECEPTACLE	LEVITON	5325-W	REFER TO ELEV. DIAGRAM AT TYP. WALL DEVICES FOR LOCATIONS
2		G.F.C.I. DUPLEX RECEPTACLE	LEVITON	7599-W	
3		AS REQUIRED BY APPLIANCE			
4		FLOOR RECEPTACLE	LEVITON	25249-TFB	
5		SINGLE POLE SWITCH	LEVITON	5601-W	
6		3-WAY SWITCH	LEVITON	5603-W	
7		4-WAY SWITCH	LEVITON	5604-W	
8		3-WAY DIMMER SWITCH	LUTRON	S-603P-	VERIFY DIMMER SWITCH LOCATION WITH OWNER PRIOR TO INSTALLATION
9		LOW VOLTAGE DIMMER SWITCH	LUTRON	SLV-600P-	
10		3-WAY LOW VOLTAGE DIMMER SWITCH	LUTRON	SLV603P-	VERIFY DIMMER SWITCH LOCATION WITH OWNER PRIOR TO INSTALLATION
11		PIN LIGHT FIXTURE			
12		PORCELAIN UTILITY LIGHT FIXTURE	SATCO	90-445	2700K LED BULB (60W EQUIVALENT)
13		SURFACE MOUNTED CLG FIXTURE			OWNER TO SELECT
14		HANGING DECORATIVE CLG FIXTURE			OWNER TO SELECT
15		3" RECESSED HIGH HAT	HALO		3" RECESSED HIGH HAT [GIMBAL TYPE FIXTURES IN SLOPED CEILINGS]
16		RECESSED SHOWER LIGHT	HALO	HSICAT	5050 SHOWER LIGHT LENS
17		WALL SCONCE			
18		WALL SCONCE DOWN LIGHTING			
19		PENDANT LIGHT/ CHANDELIER			OWNER TO SELECT
20		CLOSET LIGHT	HALO	H2932T	2700K LED BULB (60W EQUIVALENT)
21		EXTERIOR FLOOD LIGHTS			OWNER TO SELECT
22		MASONRY STEP LIGHT	HALO	H2925TW	
23		UNDER COUNTER LIGHTING	LUTRON	LUMARIS	2700K LED LINEAR LIGHTING W/ DIFFUSED LENS. 6"-48" LENGTHS
24		ALARM KEYPAD			
25		DOOR BELL BUTTON			OWNER TO SELECT
26		CARBON MONOXIDE DETECTOR			
27		SMOKE DETECTOR			
28		GARAGE DOOR KEY PAD			OWNER TO SELECT
29		QUICKPORT JACK	LEVITON	42080-3WS	CABLE JACK (TV), MODULAR (TELEPHONE), & CATEGORY 5
30		CEILING PATIO HEATER	INFRATECH	WD-4024 SS	
31		WALL MOUNTED READING LAMPS			OWNER TO SELECT
32		THERMOSTAT			LOCATION TBD IN FIELD WITH ARCHITECT & HVAC INSTALLER, PROVIDE POWER
33		STEP LIGHT	WAC LIGHTING	WL-LED200	
34		LED TAPE LIGHT / SHELF LIGHT	WAC LIGHTING	LED-T24W-	*"PRO-INVISIBLE" 2700K LED TAPE LIGHT (LENGTH TO BE DETERMINED)
35		CEILING MOUNTED SPEAKER			
36		EXHAUST FAN	NUTONE	QTXEN150	ENERGY STAR 150 CFM EXHAUST FAN
37		EXHAUST FAN WITH LIGHT	NUTONE	QTXEN150FLT	ENERGY STAR 150 CFM EXHAUST FAN W/ LIGHT
38		CEILING FAN	EXTERIOR CRAFTMADE	OPXL52	EXTERIOR GRADE FAN W/ #B552SOWH BLADES - WHITE OWNER TO SELECT

- 1) ALL ELECTRICAL WORK SHALL CONFORM TO LOCAL NEC AND UNDERWRITERS LABORATORY REQUIREMENTS.
- 2) INSTALL SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED TO MEET CODE. ALL DETECTORS ARE TO BE INTERCONNECTED WITH BATTERY BACKUPS.
- 3) AS PER NEW YORK STATE RESIDENTIAL BUILDING CODE, ANY ALTERATION TO A BUILDING WILL REQUIRE THAT SMOKE ALARMS BE INSTALLED THROUGHOUT THE ENTIRE BUILDING.
- 4) SECURITY & ALARM SYSTEM TO BE SUPPLIED BY OWNER & INSTALLED BY OTHERS.
- 5) ALL AUDIO/VISUAL WIRING & HOOKUP TO BE SUPPLIED BY OWNER & INSTALLED BY OTHERS
- 6) ALL BULBS IN FIXTURES CONNECTED TO DIMMER SWITCHES TO BE DIMMABLE
- 7) ELECTRICIAN IS RESPONSIBLE FOR INSTALLING NON-INSULATED CANS OR INSULATED CANS AS REQUIRED TO COMPLY WITH CODE
- 8) UNLESS OTHERWISE NOTED, CENTERLINE OF ALL SWITCHES TO BE 4" ABOVE FINISHED FLOOR, & ALL RECEPTACLES TO BE LOCATED IN BASE MOLDING
- 9) ELECTRICIAN TO PROVIDE WIRING FOR ALL BOILERS, AIR HANDLERS, WATER HEATERS, ETC. & COORDINATE WITH GENERAL CONTRACTOR
- 10) ELECTRICIAN TO PROVIDE OUTLETS AS REQUIRED BY CODE. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION

SEAL

ARCHITECT

JOSEPH PAGAC
ARCHITECT P.C.

JPA

16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209

DATE: 7/27/22

DRAWN BY: CD CHECKED BY: JP

DRAWING TITLE

PROPOSED
BASEMENT
ELECTRICAL PLAN

SCALE: AS NOTED

E-100

© JOSEPH PAGAC ARCHITECT PC

A/V NOTES:

1. CONTRACTOR TO PROVIDE AN ALLOWANCE OF \$7,500 TO RUN A/V WIRING AS INDICATED ON A/V PLANS. WIRING TO BE SUPPLIED BY A/V CONSULTANT. A/V FIXTURES & ACCESSORIES TO BE SUPPLIED AND INSTALLED BY A/V CONSULTANT.

LIGHTING & ELECTRICAL GENERAL NOTES:

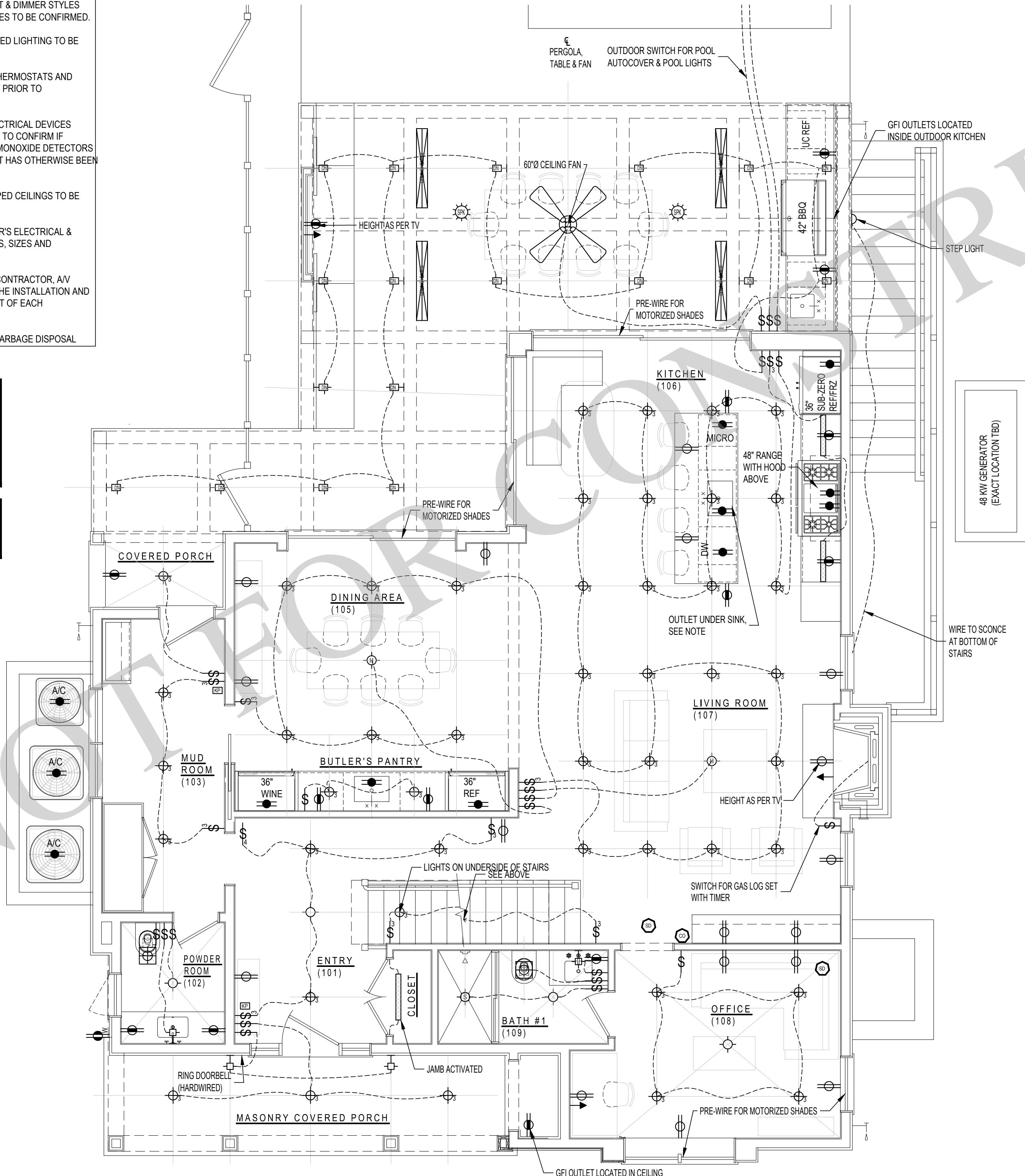
1. COORDINATE ELECTRICAL PLANS WITH REFLECTED CEILING PLANS AND INTERIOR ELEVATIONS FOR ALL FIXTURE, OUTLET & SWITCH LOCATIONS. CONFIRM EACH LOCATION WITH ARCHITECT PRIOR TO FINAL INSTALLATION.
2. CONTRACTOR TO COORDINATE FULL ELECTRICAL & LIGHTING SCOPE OF WORK WITH LIGHTING CONSULTANT, A/V CONSULTANT, SECURITY CONSULTANT, INTERIOR DESIGNER & ARCHITECT.
3. RECESS ALL APPLIANCE OUTLETS AND REFER TO MANUFACTURER FOR SPECIFICATIONS AND FINAL LOCATIONS.
4. CONTRACTOR SHALL INSTALL ALL FIXTURES SUPPLIED BY THE OWNER AS PER LIGHTING FIXTURE SCHEDULE.
5. CONTRACTOR TO CONFIRM COVER SWITCH, OUTLET & DIMMER STYLES WITH ARCHITECT. ALL SWITCHES AND KEY PAD TYPES TO BE CONFIRMED.
6. ALL REMOTE TRANSFORMERS FOR LOW VOLTAGE/LED LIGHTING TO BE LOCATED ON SITE WITH ARCHITECT.
7. CONTRACTOR TO REVIEW FINAL LOCATIONS FOR THERMOSTATS AND TEMPERATURE SENSORS ON SITE WITH ARCHITECT PRIOR TO INSTALLATION.
8. CONTRACTOR TO VERIFY LIGHT FIXTURES AND ELECTRICAL DEVICES COUNT ON ALL FLOORS. ELECTRICAL CONTRACTOR TO CONFIRM IF ADDITIONAL SMOKE DETECTORS AND/OR CARBON MONOXIDE DETECTORS ARE REQUIRED AS PER BUILDING CODE FROM WHAT HAS OTHERWISE BEEN INDICATED ON THE PROPOSED ELECTRICAL PLANS.
9. ALL RECESSED LIGHT FIXTURES INSTALLED IN SLOPED CEILINGS TO BE GIMBAL TYPE DOWNLIGHT FIXTURES
10. CONTRACTOR TO REFER TO MECHANICAL ENGINEER'S ELECTRICAL & POWER PLANS FOR ALL EQUIPMENT REQUIREMENTS, SIZES AND SPECIFICATIONS.
11. CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR, A/V CONTRACTOR, AND SECURITY CONTRACTOR FOR THE INSTALLATION AND THE RUNNING OF ALL LOW VOLTAGE WIRES AS PART OF EACH CONTRACTOR'S SCOPE OF WORK.
12. PROVIDE OUTLET AS REQUIRED UNDER SINK FOR GARBAGE DISPOSAL

RECESSED LIGHTING COORDINATION:

COORD. LAYOUT OF FLOOR JOISTS W/ RECESSED LIGHTING LAYOUT PER ARCH. DWGS. JOIST LOCATION MAY BE ADJUSTED TO ACCOMMODATE LIGHTING. DO NOT NOTCH JOISTS/BEAMS OR ADJUST BEAM LOCATIONS WITHOUT REVIEWING W/ ARCHITECT / ENGINEER.

MOTORIZED SHADES:

ALL 2ND FLOOR BEDROOMS TO HAVE BLACK-OUT MOTORIZED SHADES WITH SIDE TRACK



ELECTRICAL LEGEND

ITEM #	SYMBOL	TYPE	MANUFACTURER	MODEL #	NOTES
1		DUPLEX RECEPTACLE	LEVITON	5325-W	REFER TO ELEV. DIAGRAM AT TYP. WALL DEVICES FOR LOCATIONS
2		G.F.C.I. DUPLEX RECEPTACLE	LEVITON	7599-W	
3		AS REQUIRED BY APPLIANCE			
4		FLOOR RECEPTACLE	LEVITON	25249-TFB	
5		SINGLE POLE SWITCH	LEVITON	5601-W	
6		3-WAY SWITCH	LEVITON	5603-W	
7		4-WAY SWITCH	LEVITON	5604-W	
8		3-WAY DIMMER SWITCH	LUTRON	S-603P-	VERIFY DIMMER SWITCH LOCATION WITH OWNER PRIOR TO INSTALLATION
9		LOW VOLTAGE DIMMER SWITCH	LUTRON	SLV-600P-	
10		3-WAY LOW VOLTAGE DIMMER SWITCH	LUTRON	SLV603P-	VERIFY DIMMER SWITCH LOCATION WITH OWNER PRIOR TO INSTALLATION
11		PIN LIGHT FIXTURE			
12		PORCELAIN UTILITY LIGHT FIXTURE	SATCO	90-445	2700K LED BULB (60W EQUIVALENT)
13		SURFACE MOUNTED CLG FIXTURE			OWNER TO SELECT
14		HANGING DECORATIVE CLG FIXTURE			OWNER TO SELECT
15		3" RECESSED HIGH HAT	HALO		3" RECESSED HIGH HAT [GIMBAL TYPE FIXTURES IN SLOPED CEILINGS]
16		RECESSED SHOWER LIGHT	HALO	HSICAT	5050 SHOWER LIGHT LENS
17		WALL SCENCE			
18		WALL SCENCE DOWN LIGHTING			
19		PENDANT LIGHT/ CHANDELIER			OWNER TO SELECT
20		CLOSET LIGHT	HALO	H2932T	2700K LED BULB (60W EQUIVALENT)
21		EXTERIOR FLOOD LIGHTS			OWNER TO SELECT
22		MASONRY STEP LIGHT	HALO	H2932TW	
23		UNDER COUNTER LIGHTING	LUTRON	LUMARIS	2700K LED LINEAR LIGHTING W/ DIFFUSED LENS. 6"-48" LENGTHS
24		ALARM KEYPAD			
25		DOOR BELL BUTTON			OWNER TO SELECT
26		CARBON MONOXIDE DETECTOR			
27		SMOKE DETECTOR			
28		GARAGE DOOR KEY PAD			OWNER TO SELECT
29		QUICKPORT JACK	LEVITON	42080-3WS	CABLE JACK (TV), MODULAR (TELEPHONE), & CATEGORY 5
30		CEILING PATIO HEATER	INFRATECH	WD-4024 SS	
31		WALL MOUNTED READING LAMPS			OWNER TO SELECT
32		THERMOSTAT			LOCATION TBD IN FIELD WITH ARCHITECT & HVAC INSTALLER, PROVIDE POWER
33		STEP LIGHT	WAC LIGHTING	WL-LED200	
34		LED TAPE LIGHT / SHELF LIGHT	WAC LIGHTING	LED-T24W-	*"PRO-INVISIBLE" 2700K LED TAPE LIGHT (LENGTH TO BE DETERMINED)
35		CEILING MOUNTED SPEAKER			
36		EXHAUST FAN	NUTONE	QTXEN150	ENERGY STAR 150 CFM EXHAUST FAN
37		EXHAUST FAN WITH LIGHT	NUTONE	QTXEN150FLT	ENERGY STAR 150 CFM EXHAUST FAN W/ LIGHT
38		CEILING FAN	EXTERIOR INTERIOR	CRAFTMADE OPXL52	EXTERIOR GRADE FAN W/ #B552SOWH BLADES - WHITE OWNER TO SELECT

- 1) ALL ELECTRICAL WORK SHALL CONFORM TO LOCAL NEC AND UNDERWRITERS LABORATORY REQUIREMENTS.
- 2) INSTALL SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED TO MEET CODE. ALL DETECTORS ARE TO BE INTERCONNECTED WITH BATTERY BACKUPS.
- 3) AS PER NEW YORK STATE RESIDENTIAL BUILDING CODE, ANY ALTERATION TO A BUILDING WILL REQUIRE THAT SMOKE ALARMS BE INSTALLED THROUGHOUT THE ENTIRE BUILDING.
- 4) SECURITY & ALARM SYSTEM TO BE SUPPLIED BY OWNER & INSTALLED BY OTHERS.
- 5) ALL AUDIO/VISUAL WIRING & HOOKUP TO BE SUPPLIED BY OWNER & INSTALLED BY OTHERS
- 6) ALL BULBS IN FIXTURES CONNECTED TO DIMMER SWITCHES TO BE DIMMABLE
- 7) ELECTRICIAN IS RESPONSIBLE FOR INSTALLING NON-INSULATED CANS OR INSULATED CANS AS REQUIRED TO COMPLY WITH CODE
- 8) UNLESS OTHERWISE NOTED, CENTERLINE OF ALL SWITCHES TO BE 4" ABOVE FINISHED FLOOR, & ALL RECEPTACLES TO BE LOCATED IN BASE MOULDING
- 9) ELECTRICIAN TO PROVIDE WIRING FOR ALL BOILERS, AIR HANDLERS, WATER HEATERS, ETC. & COORDINATE WITH GENERAL CONTRACTOR
- 10) ELECTRICIAN TO PROVIDE OUTLETS AS REQUIRED BY CODE. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION

SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

**PROPOSED FIRST
FLOOR ELECTRICAL
PLAN**

SCALE: AS NOTED

E-101

© JOSEPH PAGAC ARCHITECT PC

FILE NAME C:\Users\16318\Dropbox\JPA-CD Share\2209\1\SI\AK\Drawings\2209-Electrical.dwg SAVED ON 9/6/2024 1:51 PM PLOTTED ON 9/6/2024 1:47 PM PLOTTED BY CHRISTIAN DSILVESTRE

A/V NOTES:

1. CONTRACTOR TO PROVIDE AN ALLOWANCE OF \$7,500 TO RUN A/V WIRING AS INDICATED ON A/V PLANS. WIRING TO BE SUPPLIED BY A/V CONSULTANT. A/V FIXTURES & ACCESSORIES TO BE SUPPLIED AND INSTALLED BY A/V CONSULTANT.

LIGHTING & ELECTRICAL GENERAL NOTES:

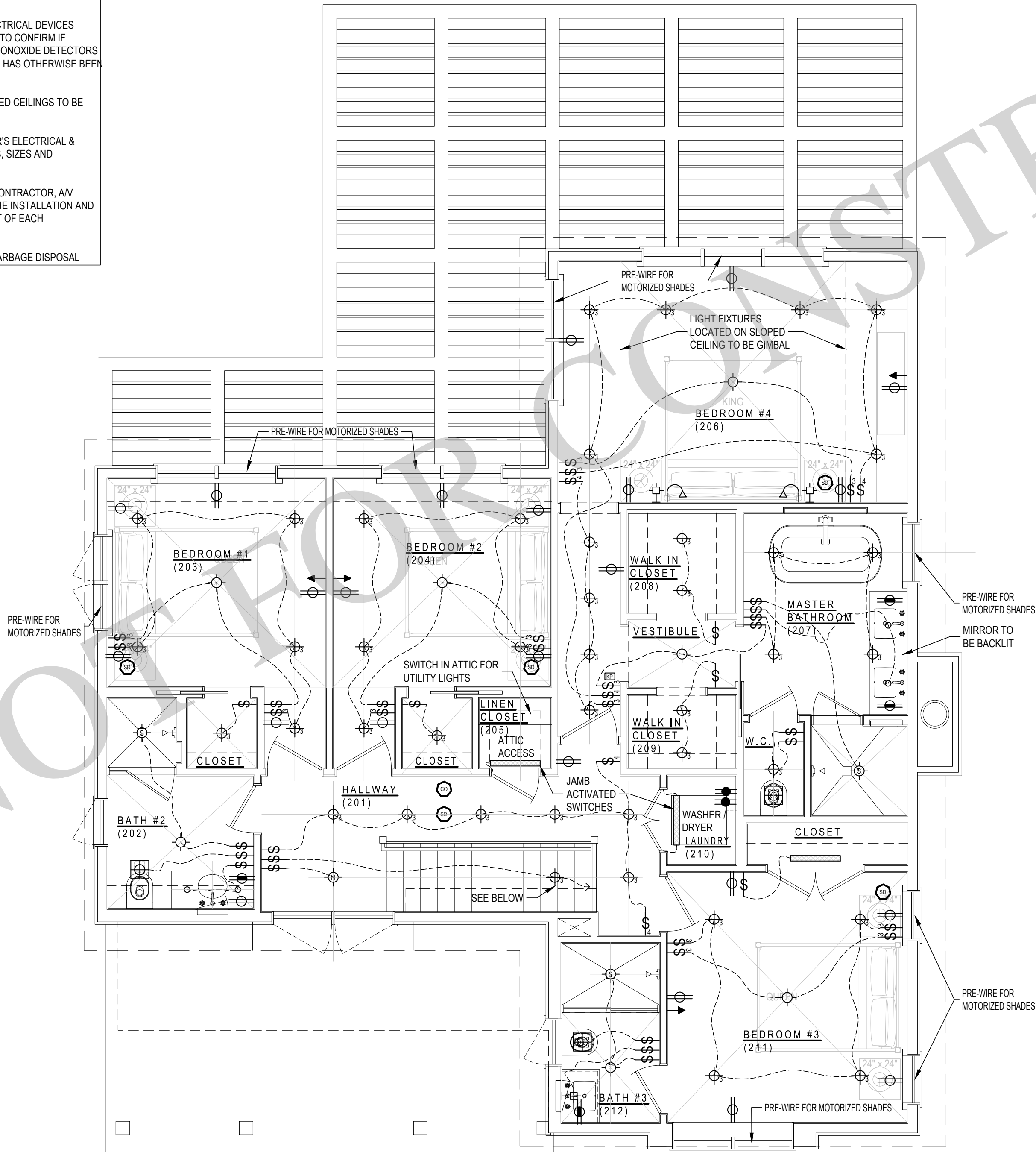
1. COORDINATE ELECTRICAL PLANS WITH REFLECTED CEILING PLANS AND INTERIOR ELEVATIONS FOR ALL FIXTURE, OUTLET & SWITCH LOCATIONS. CONFIRM EACH LOCATION WITH ARCHITECT PRIOR TO FINAL INSTALLATION.
2. CONTRACTOR TO COORDINATE FULL ELECTRICAL & LIGHTING SCOPE OF WORK WITH LIGHTING CONSULTANT, A/V CONSULTANT, SECURITY CONSULTANT, INTERIOR DESIGNER & ARCHITECT.
3. RECESS ALL APPLIANCE OUTLETS AND REFER TO MANUFACTURER FOR SPECIFICATIONS AND FINAL LOCATIONS.
4. CONTRACTOR SHALL INSTALL ALL FIXTURES SUPPLIED BY THE OWNER AS PER LIGHTING FIXTURE SCHEDULE.
5. CONTRACTOR TO CONFIRM COVER SWITCH, OUTLET & DIMMER STYLES WITH ARCHITECT. ALL SWITCHES AND KEY PAD TYPES TO BE CONFIRMED.
6. ALL REMOTE TRANSFORMERS FOR LOW VOLTAGE/LED LIGHTING TO BE LOCATED ON SITE WITH ARCHITECT.
7. CONTRACTOR TO REVIEW FINAL LOCATIONS FOR THERMOSTATS AND TEMPERATURE SENSORS ON SITE WITH ARCHITECT PRIOR TO INSTALLATION.
8. CONTRACTOR TO VERIFY LIGHT FIXTURES AND ELECTRICAL DEVICES COUNT ON ALL FLOORS. ELECTRICAL CONTRACTOR TO CONFIRM IF ADDITIONAL SMOKE DETECTORS AND/OR CARBON MONOXIDE DETECTORS ARE REQUIRED AS PER BUILDING CODE FROM WHAT HAS OTHERWISE BEEN INDICATED ON THE PROPOSED ELECTRICAL PLANS.
9. ALL RECESSED LIGHT FIXTURES INSTALLED IN SLOPED CEILINGS TO BE GIMBAL TYPE DOWNLIGHT FIXTURES
10. CONTRACTOR TO REFER TO MECHANICAL ENGINEER'S ELECTRICAL & POWER PLANS FOR ALL EQUIPMENT REQUIREMENTS, SIZES AND SPECIFICATIONS.
11. CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR, A/V CONTRACTOR, AND SECURITY CONTRACTOR FOR THE INSTALLATION AND THE RUNNING OF ALL LOW VOLTAGE WIRES AS PART OF EACH CONTRACTOR'S SCOPE OF WORK.
12. PROVIDE OUTLET AS REQUIRED UNDER SINK FOR GARBAGE DISPOSAL

RECESSED LIGHTING COORDINATION:

COORD. LAYOUT OF FLOOR JOISTS W/ RECESSED LIGHTING LAYOUT PER ARCH. DWGS. JOIST LOCATION MAY BE ADJUSTED TO ACCOMMODATE LIGHTING. DO NOT NOTCH JOISTS/BEAMS OR ADJUST BEAM LOCATIONS WITHOUT REVIEWING W/ ARCHITECT / ENGINEER.

MOTORIZED SHADES:

ALL 2ND FLOOR BEDROOMS TO HAVE BLACK-OUT MOTORIZED SHADES WITH SIDE TRACK



ELECTRICAL LEGEND

ITEM #	SYMBOL	TYPE	MANUFACTURER	MODEL #	NOTES
1		DUPLEX RECEPTACLE	LEVITON	5325-W	REFER TO ELEV. DIAGRAM AT TYP. WALL DEVICES FOR LOCATIONS
2		G.F.C.I. DUPLEX RECEPTACLE	LEVITON	7599-W	
3		AS REQUIRED BY APPLIANCE			
4		FLOOR RECEPTACLE	LEVITON	25249-TFB	
5		SINGLE POLE SWITCH	LEVITON	5601-W	
6		3-WAY SWITCH	LEVITON	5603-W	
7		4-WAY SWITCH	LEVITON	5604-W	
8		3-WAY DIMMER SWITCH	LUTRON	S-603P-	VERIFY DIMMER SWITCH LOCATION WITH OWNER PRIOR TO INSTALLATION
9		LOW VOLTAGE DIMMER SWITCH	LUTRON	SLV-600P-	
10		3-WAY LOW VOLTAGE DIMMER SWITCH	LUTRON	SLV603P-	VERIFY DIMMER SWITCH LOCATION WITH OWNER PRIOR TO INSTALLATION
11		PIN LIGHT FIXTURE			
12		PORCELAIN UTILITY LIGHT FIXTURE	SATCO	90-445	2700K LED BULB (60W EQUIVALENT)
13		SURFACE MOUNTED CLG FIXTURE			OWNER TO SELECT
14		HANGING DECORATIVE CLG FIXTURE			OWNER TO SELECT
15		3" RECESSED HIGH HAT	HALO		3" RECESSED HIGH HAT [GIMBAL TYPE FIXTURES IN SLOPED CEILINGS]
16		RECESSED SHOWER LIGHT	HALO	HSICAT	5050 SHOWER LIGHT LENS
17		WALL SCONCE			
18		WALL SCONCE DOWN LIGHTING			
19		PENDANT LIGHT/ CHANDELIER			OWNER TO SELECT
20		CLOSET LIGHT	HALO	H2932T	2700K LED BULB (60W EQUIVALENT)
21		EXTERIOR FLOOD LIGHTS			OWNER TO SELECT
22		MASONRY STEP LIGHT	HALO	H2932TW	
23		UNDER COUNTER LIGHTING	LUTRON	LUMARIS	2700K LED LINEAR LIGHTING W/ DIFFUSED LENS. 6"-48" LENGTHS
24		ALARM KEYPAD			
25		DOOR BELL BUTTON			OWNER TO SELECT
26		CARBON MONOXIDE DETECTOR			
27		SMOKE DETECTOR			
28		GARAGE DOOR KEY PAD			OWNER TO SELECT
29		QUICKPORT JACK	LEVITON	42080-3WS	CABLE JACK (TV), MODULAR (TELEPHONE), & CATEGORY 5
30		CEILING PATIO HEATER	INFRATECH	WD-4024 SS	
31		WALL MOUNTED READING LAMPS			OWNER TO SELECT
32		THERMOSTAT			LOCATION TBD IN FIELD WITH ARCHITECT & HVAC INSTALLER, PROVIDE POWER
33		STEP LIGHT	WAC LIGHTING	WL-LED200	
34		LED TAPE LIGHT / SHELF LIGHT	WAC LIGHTING	LED-T24W-	*"PRO-INVISIBLE" 2700K LED TAPE LIGHT (LENGTH TO BE DETERMINED)
35		CEILING MOUNTED SPEAKER			
36		EXHAUST FAN	NUTONE	QTXEN150	ENERGY STAR 150 CFM EXHAUST FAN
37		EXHAUST FAN WITH LIGHT	NUTONE	QTXEN150FLT	ENERGY STAR 150 CFM EXHAUST FAN W/ LIGHT
38		CEILING FAN	EXTERIOR INTERIOR	CRAFTMADE OPXL52	EXTERIOR GRADE FAN W/ #B552SOWH BLADES - WHITE OWNER TO SELECT

- 1) ALL ELECTRICAL WORK SHALL CONFORM TO LOCAL NEC AND UNDERWRITERS LABORATORY REQUIREMENTS.
- 2) INSTALL SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED TO MEET CODE. ALL DETECTORS ARE TO BE INTERCONNECTED WITH BATTERY BACKUPS.
- 3) AS PER NEW YORK STATE RESIDENTIAL BUILDING CODE, ANY ALTERATION TO A BUILDING WILL REQUIRE THAT SMOKE ALARMS BE INSTALLED THROUGHOUT THE ENTIRE BUILDING.
- 4) SECURITY & ALARM SYSTEM TO BE SUPPLIED BY OWNER & INSTALLED BY OTHERS.
- 5) ALL AUDIO/VISUAL WIRING & HOOKUP TO BE SUPPLIED BY OWNER & INSTALLED BY OTHERS
- 6) ALL BULBS IN FIXTURES CONNECTED TO DIMMER SWITCHES TO BE DIMMABLE
- 7) ELECTRICIAN IS RESPONSIBLE FOR INSTALLING NON-INSULATED CANS OR INSULATED CANS AS REQUIRED TO COMPLY WITH CODE
- 8) UNLESS OTHERWISE NOTED, CENTERLINE OF ALL SWITCHES TO BE 4" ABOVE FINISHED FLOOR, & ALL RECEPTACLES TO BE LOCATED IN BASE MOULDING
- 9) ELECTRICIAN TO PROVIDE WIRING FOR ALL BOILERS, AIR HANDLERS, WATER HEATERS, ETC. & COORDINATE WITH GENERAL CONTRACTOR
- 10) ELECTRICIAN TO PROVIDE OUTLETS AS REQUIRED BY CODE. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION

ARCHITECT

JOSEPH PAGAC
ARCHITECT P.C. JPA

16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209

DATE: 7/27/22

DRAWN BY: CD CHECKED BY: JP

DRAWING TITLE

PROPOSED SECOND
FLOOR ELECTRICAL
PLAN

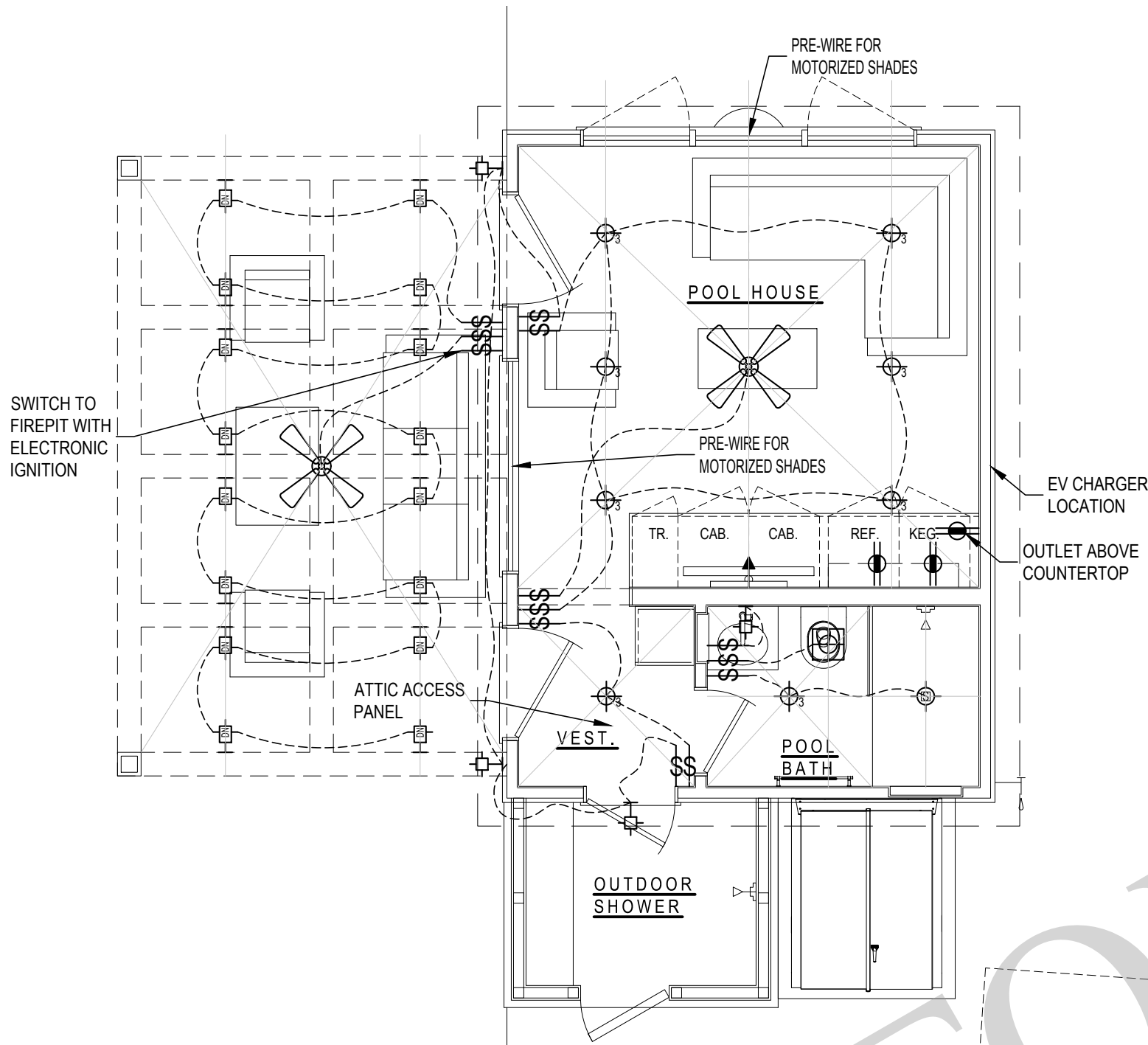
SCALE: AS NOTED

E-102

© JOSEPH PAGAC ARCHITECT PC

LIGHTING & ELECTRICAL GENERAL NOTES:

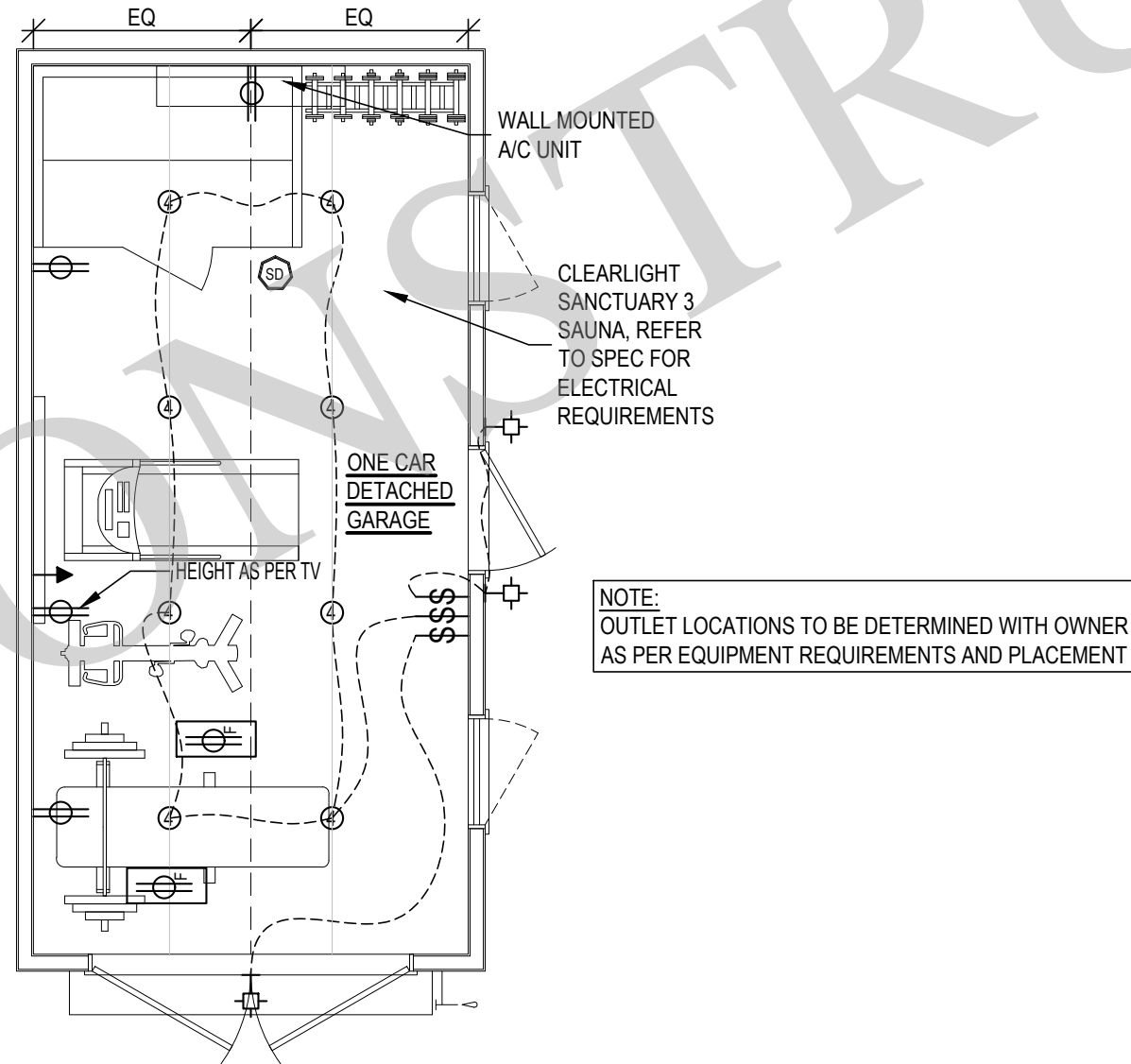
- COORDINATE ELECTRICAL PLANS WITH REFLECTED CEILING PLANS AND INTERIOR ELEVATIONS FOR ALL FIXTURE, OUTLET & SWITCH LOCATIONS. CONFIRM EACH LOCATION WITH ARCHITECT PRIOR TO FINAL INSTALLATION.
- CONTRACTOR TO COORDINATE FULL ELECTRICAL & LIGHTING SCOPE OF WORK WITH LIGHTING CONSULTANT, A/V CONSULTANT, SECURITY CONSULTANT, INTERIOR DESIGNER & ARCHITECT.
- RECESS ALL APPLIANCE OUTLETS AND REFER TO MANUFACTURER FOR SPECIFICATIONS AND FINAL LOCATIONS.
- CONTRACTOR SHALL INSTALL ALL FIXTURES SUPPLIED BY THE OWNER AS PER LIGHTING FIXTURE SCHEDULE.
- CONTRACTOR TO CONFIRM COVER SWITCH, OUTLET & DIMMER STYLES WITH ARCHITECT. ALL SWITCHES AND KEY PAD TYPES TO BE CONFIRMED.
- ALL REMOTE TRANSFORMERS FOR LOW VOLTAGE/LED LIGHTING TO BE LOCATED ON SITE WITH ARCHITECT.
- CONTRACTOR TO REVIEW FINAL LOCATIONS FOR THERMOSTATS AND TEMPERATURE SENSORS ON SITE WITH ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY LIGHT FIXTURES AND ELECTRICAL DEVICES COUNT ON ALL FLOORS. ELECTRICAL CONTRACTOR TO CONFIRM IF ADDITIONAL SMOKE DETECTORS AND/OR CARBON MONOXIDE DETECTORS ARE REQUIRED AS PER BUILDING CODE FROM WHAT HAS OTHERWISE BEEN INDICATED ON THE PROPOSED ELECTRICAL PLANS.
- ALL RECESSED LIGHT FIXTURES INSTALLED IN SLOPED CEILINGS TO BE GIMBAL TYPE DOWNLIGHT FIXTURES
- CONTRACTOR TO REFER TO MECHANICAL ENGINEER'S ELECTRICAL & POWER PLANS FOR ALL EQUIPMENT REQUIREMENTS, SIZES AND SPECIFICATIONS.
- CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR, A/V CONTRACTOR, AND SECURITY CONTRACTOR FOR THE INSTALLATION AND THE RUNNING OF ALL LOW VOLTAGE WIRES AS PART OF EACH CONTRACTOR'S SCOPE OF WORK.



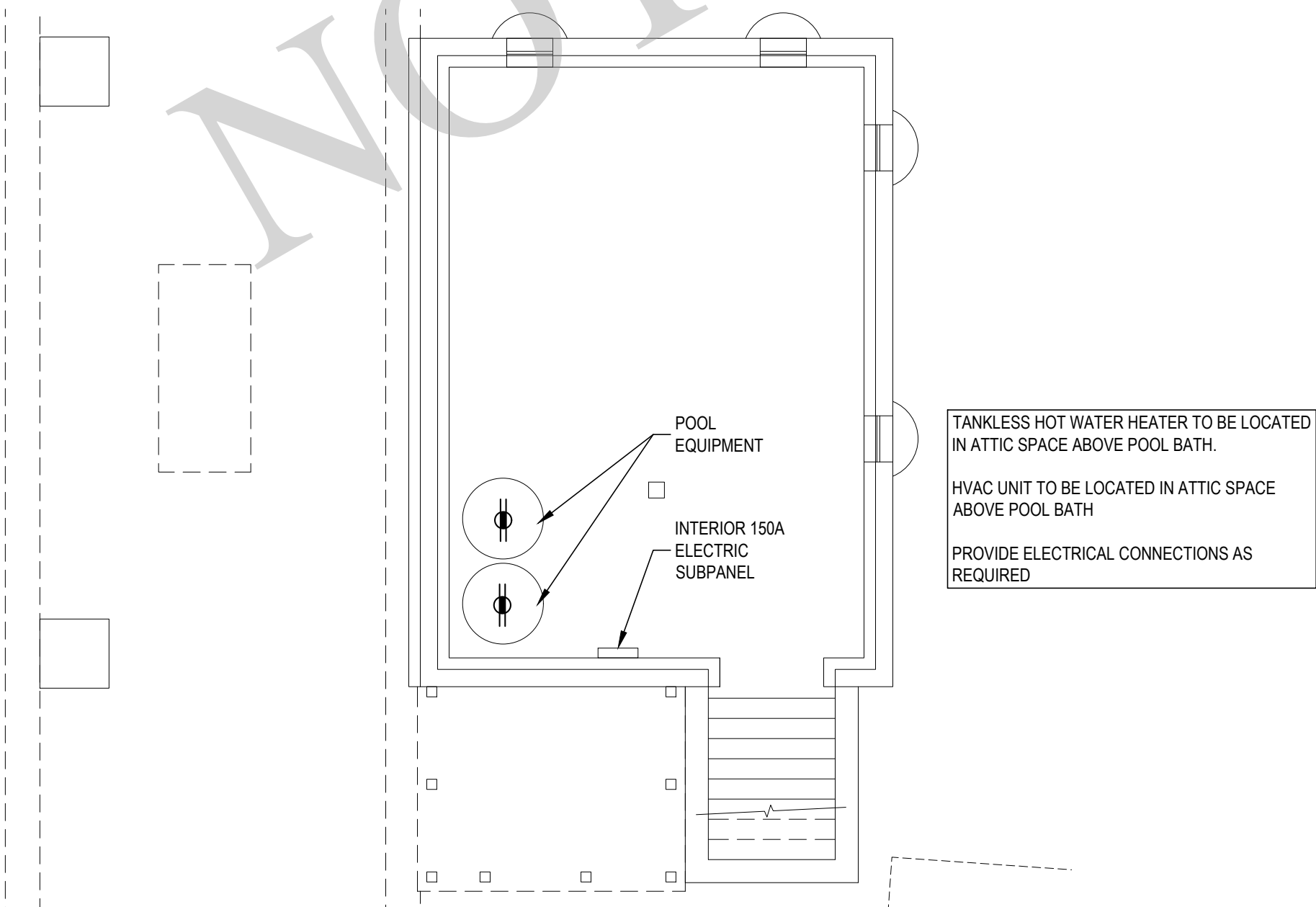
1 PROPOSED POOL HOUSE ELECTRICAL PLAN
E-103
1/4" = 1'-0"

GENERAL BATHROOM NOTES:

- REFER TO STONE & TILE SCHEDULE FOR ALL STONE & TILE SPECIFICATIONS.
- REFER TO PLUMBING FIXTURE & FITTING SCHEDULE FOR ALL PLUMBING SPECIFICATIONS.
- REFER TO BATHROOM ACCESSORIES SCHEDULE FOR ALL ACCESSORY SPECIFICATIONS. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED FOR PROPER ATTACHMENT. EXACT LOCATION OF ALL BATHROOM ACCESSORIES TO BE REVIEWED ON SITE WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
- DECORATIVE WALL SCONCE FIXTURES & FRAMED MIRRORS TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. EXACT LOCATIONS TO BE REVIEWED ON SITE WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL BUILT-IN CABINETRY UNITS, SUCH AS CUSTOM VANITIES & MEDICINE CABINETS, ETC.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS & PHOTO LAYOUTS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL STONE SLAB PIECES, SUCH AS SHOWER JAMBS, SILLS, NICHEs, BENCHES, COUNTERTOPS, FLOORING, ETC.
- CONTRACTOR TO REVIEW ALL TILE LAYOUTS, GROUT JOINTS & COLORS, AND DETAILS WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL CUSTOM CABINETRY & BUILT-IN MILLWORK.



3 PROPOSED GARAGE ELECTRICAL PLAN
E-103
1/4" = 1'-0"



2 PROPOSED POOL HOUSE FOUNDATION ELECTRICAL PLAN
E-103
1/4" = 1'-0"

ELECTRICAL LEGEND

ITEM #	SYMBOL	TYPE	MANUFACTURER	MODEL #	NOTES	
1		DUPLEX RECEPTACLE	LEVITON	5325-W	REFER TO ELEV. DIAGRAM AT TYP. WALL DEVICES FOR LOCATIONS	
2		G.F.C.I. DUPLEX RECEPTACLE	LEVITON	7599-W		
3		AS REQUIRED BY APPLIANCE				
4		FLOOR RECEPTACLE	LEVITON	25249-TFB		
5		SINGLE POLE SWITCH	LEVITON	5601-W		
6		3-WAY SWITCH	LEVITON	5603-W		
7		4-WAY SWITCH	LEVITON	5604-W		
8		3-WAY DIMMER SWITCH	LUTRON	S-603P-	VERIFY DIMMER SWITCH LOCATION WITH OWNER PRIOR TO INSTALLATION	
9		LOW VOLTAGE DIMMER SWITCH	LUTRON	SLV-600P-		
10		3-WAY LOW VOLTAGE DIMMER SWITCH	LUTRON	SLV603P-	VERIFY DIMMER SWITCH LOCATION WITH OWNER PRIOR TO INSTALLATION	
11		PIN LIGHT FIXTURE				
12		PORCELAIN UTILITY LIGHT FIXTURE	SATCO	90-445	2700K LED BULB (60W EQUIVALENT)	
13		SURFACE MOUNTED CLG FIXTURE			OWNER TO SELECT	
14		HANGING DECORATIVE CLG FIXTURE			OWNER TO SELECT	
15		3\"/>	HALO		3\"/>	
16		RECESSED SHOWER LIGHT	HALO	HSICAT	5050 SHOWER LIGHT LENS	
17		WALL SCONCE				
18		WALL SCONCE DOWN LIGHTING				
19		PENDANT LIGHT/ CHANDELIER			OWNER TO SELECT	
20		CLOSET LIGHT	HALO	H2932T	2700K LED BULB (60W EQUIVALENT)	
21		EXTERIOR FLOOD LIGHTS			OWNER TO SELECT	
22		MASONRY STEP LIGHT	HALO	H2925TW		
23		UNDER COUNTER LIGHTING	LUTRON	LUMARIS	2700K LED LINEAR LIGHTING W/ DIFFUSED LENS. 6\"/>	
24		ALARM KEYPAD				
25		DOOR BELL BUTTON			OWNER TO SELECT	
26		CARBON MONOXIDE DETECTOR				
27		SMOKE DETECTOR				
28		GARAGE DOOR KEY PAD			OWNER TO SELECT	
29		QUICKPORT JACK	LEVITON	42080-3WS	CABLE JACK (TV), MODULAR (TELEPHONE), & CATEGORY 5	
30		CEILING PATIO HEATER	INFRATECH	WD-4024 SS		
31		WALL MOUNTED READING LAMPS			OWNER TO SELECT	
32		THERMOSTAT			LOCATION TBD IN FIELD WITH ARCHITECT & HVAC INSTALLER, PROVIDE POWER	
33		STEP LIGHT	WAC LIGHTING	WL-LED200		
34		LED TAPE LIGHT / SHELF LIGHT	WAC LIGHTING	LED-T24W-	*PRO-INVOILED* 2700K LED TAPE LIGHT (LENGTH TO BE DETERMINED)	
35		CEILING MOUNTED SPEAKER				
36		EXHAUST FAN	NUTONE	QTXEN150	ENERGY STAR 150 CFM EXHAUST FAN	
37		EXHAUST FAN WITH LIGHT	NUTONE	QTXEN150FLT	ENERGY STAR 150 CFM EXHAUST FAN W/ LIGHT	
38		CEILING FAN	EXTERIOR	CRAFTMADE	OPXL52	EXTERIOR GRADE FAN W/ #B652SOWH BLADES - WHITE
		INTERIOR				OWNER TO SELECT

- ALL ELECTRICAL WORK SHALL CONFORM TO LOCAL NEC AND UNDERWRITERS LABORATORY REQUIREMENTS.
- INSTALL SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED TO MEET CODE. ALL DETECTORS ARE TO BE INTERCONNECTED WITH BATTERY BACKUPS.
- AS PER NEW YORK STATE RESIDENTIAL BUILDING CODE, ANY ALTERATION TO A BUILDING WILL REQUIRE THAT SMOKE ALARMS BE INSTALLED THROUGHOUT THE ENTIRE BUILDING.
- SECURITY & ALARM SYSTEM TO BE SUPPLIED BY OWNER & INSTALLED BY OTHERS.
- ALL AUDIO/VISUAL WIRING & HOOKUP TO BE SUPPLIED BY OWNER & INSTALLED BY OTHERS
- ALL BULBS IN FIXTURES CONNECTED TO DIMMER SWITCHES TO BE DIMMABLE
- ELECTRICIAN IS RESPONSIBLE FOR INSTALLING NON-INSULATED CANS AS REQUIRED TO COMPLY WITH CODE
- UNLESS OTHERWISE NOTED, CENTERLINE OF ALL SWITCHES TO BE 4\"/>

ARCHITECT

JOSEPH PAGAC
ARCHITECT P.C. JPA

16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

PROPOSED POOL
HOUSE & GARAGE
ELECTRICAL PLAN

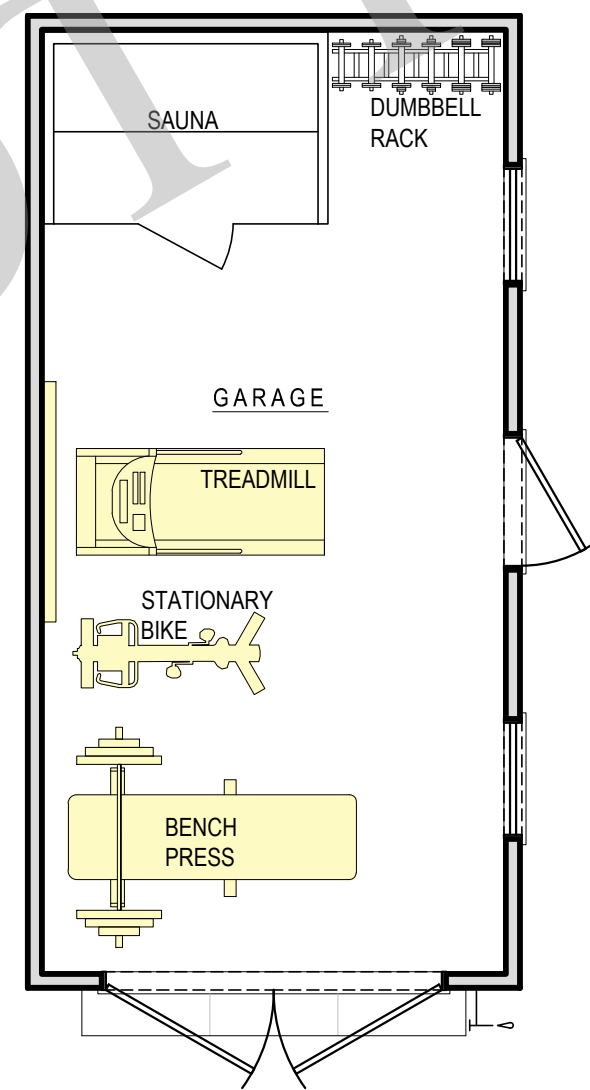
SCALE: AS NOTED

E-103

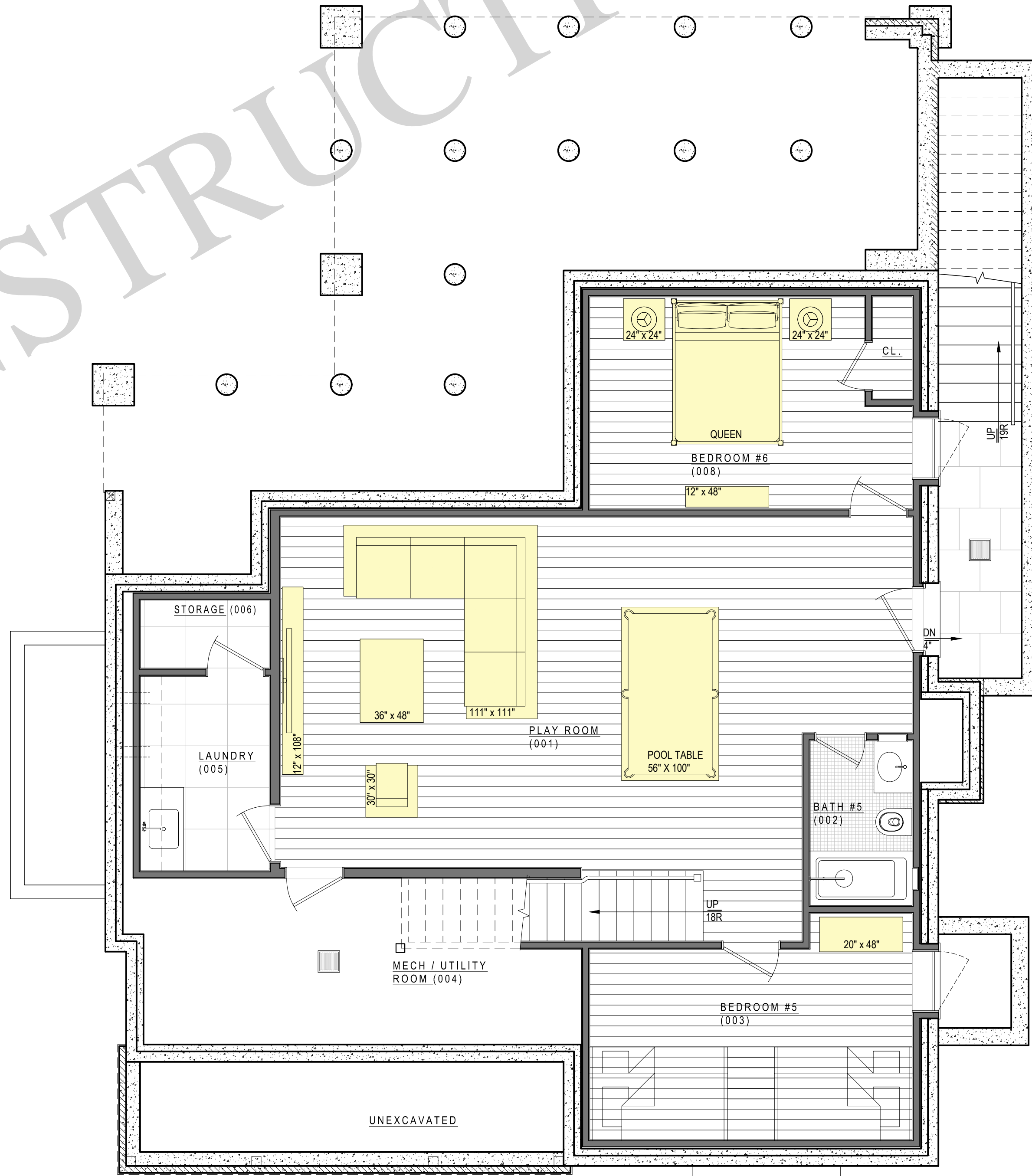
© JOSEPH PAGAC ARCHITECT PC



1 PROPOSED POOLHOUSE FURNITURE PLAN
F-100 1/4" = 1'-0"



2 PROPOSED GARAGE FURNITURE PLAN
F-100 1/4" = 1'-0"



3 PROPOSED FOUNDATION FURNITURE PLAN
F-100 1/4" = 1'-0"

SEAL

ARCHITECT

JOSEPH PAGAC
ARCHITECT P.C. JPA

16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209

DATE: 7/27/22

DRAWN BY: CD

CHECKED BY: JP

DRAWING TITLE

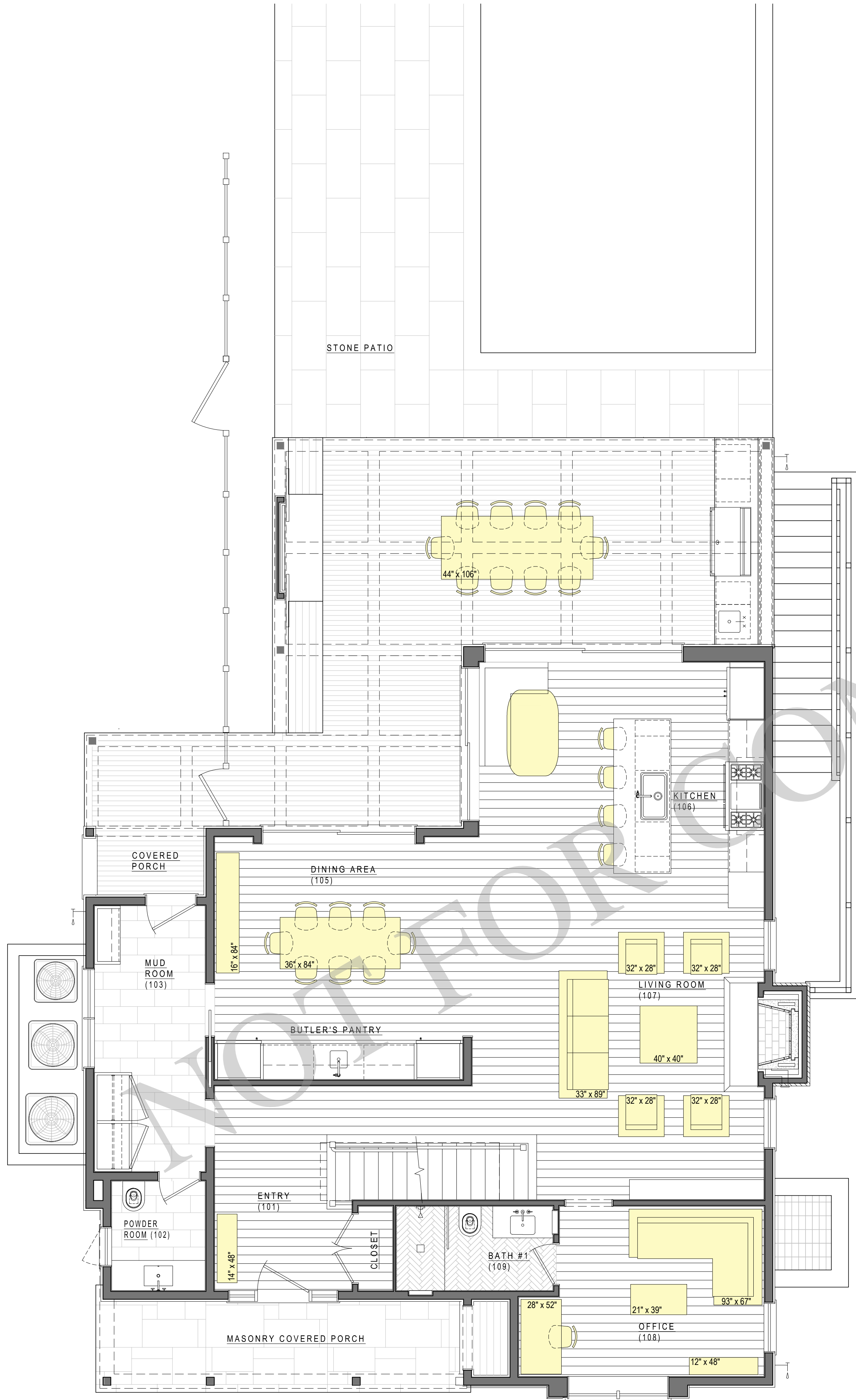
PROPOSED BASEMENT,
GARAGE & POOLHOUSE
FURNITURE PLAN

SCALE: AS NOTED

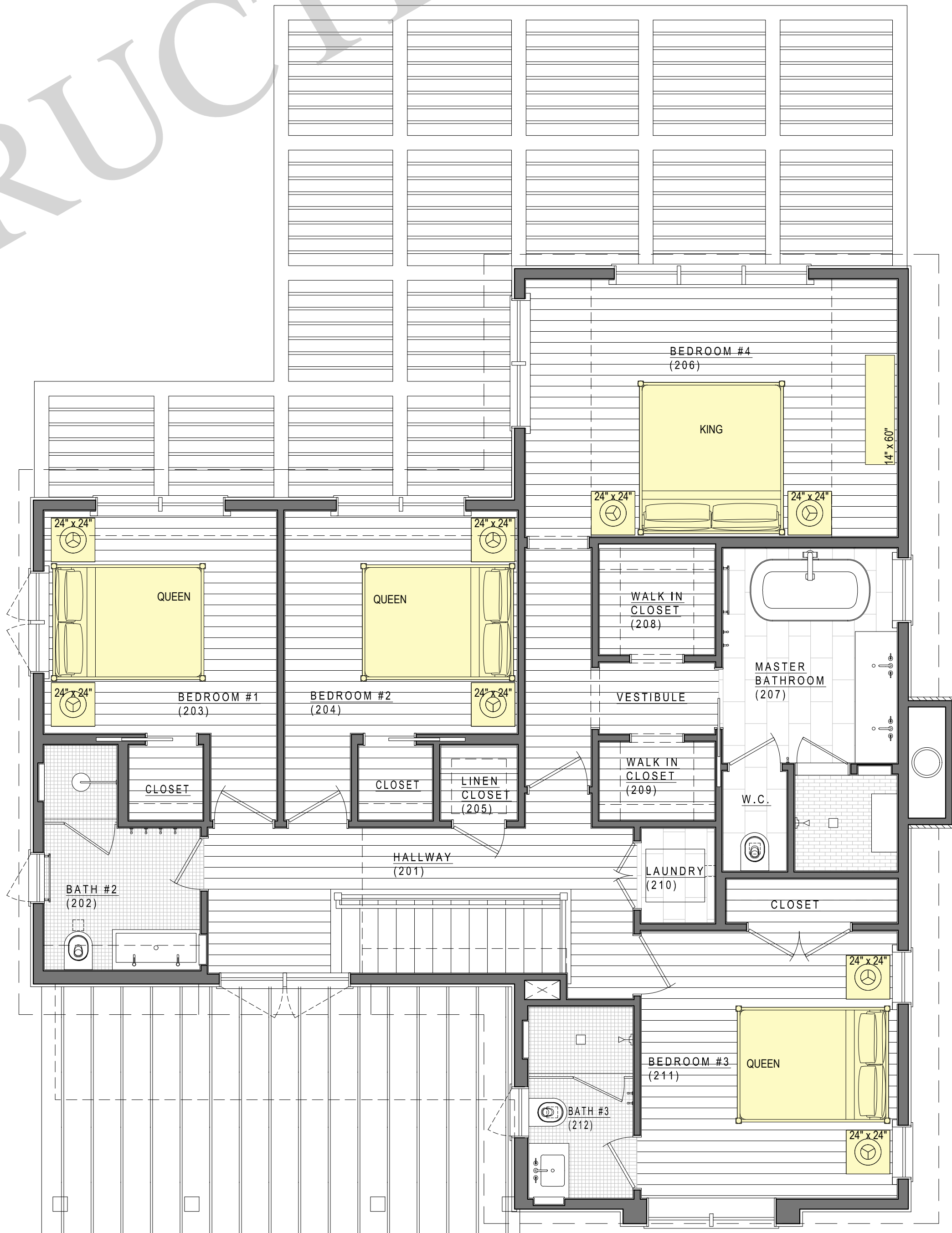
F-100

© JOSEPH PAGAC ARCHITECT PC

FILE NAME C:\Users\JPDS\OneDrive\JPDS\Drawings\2209-Con Docs.dwg SAVED ON 2/17/2025 3:02 PM PLOTTED ON 2/17/2025 3:12 PM PLOTTED BY JPDS



1 PROPOSED FIRST FLOOR FURNITURE PLAN
F-101
1/4" = 1'-0"



1 PROPOSED SECOND FLOOR FURNITURE PLAN
F-101
1/4" = 1'-0"

SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

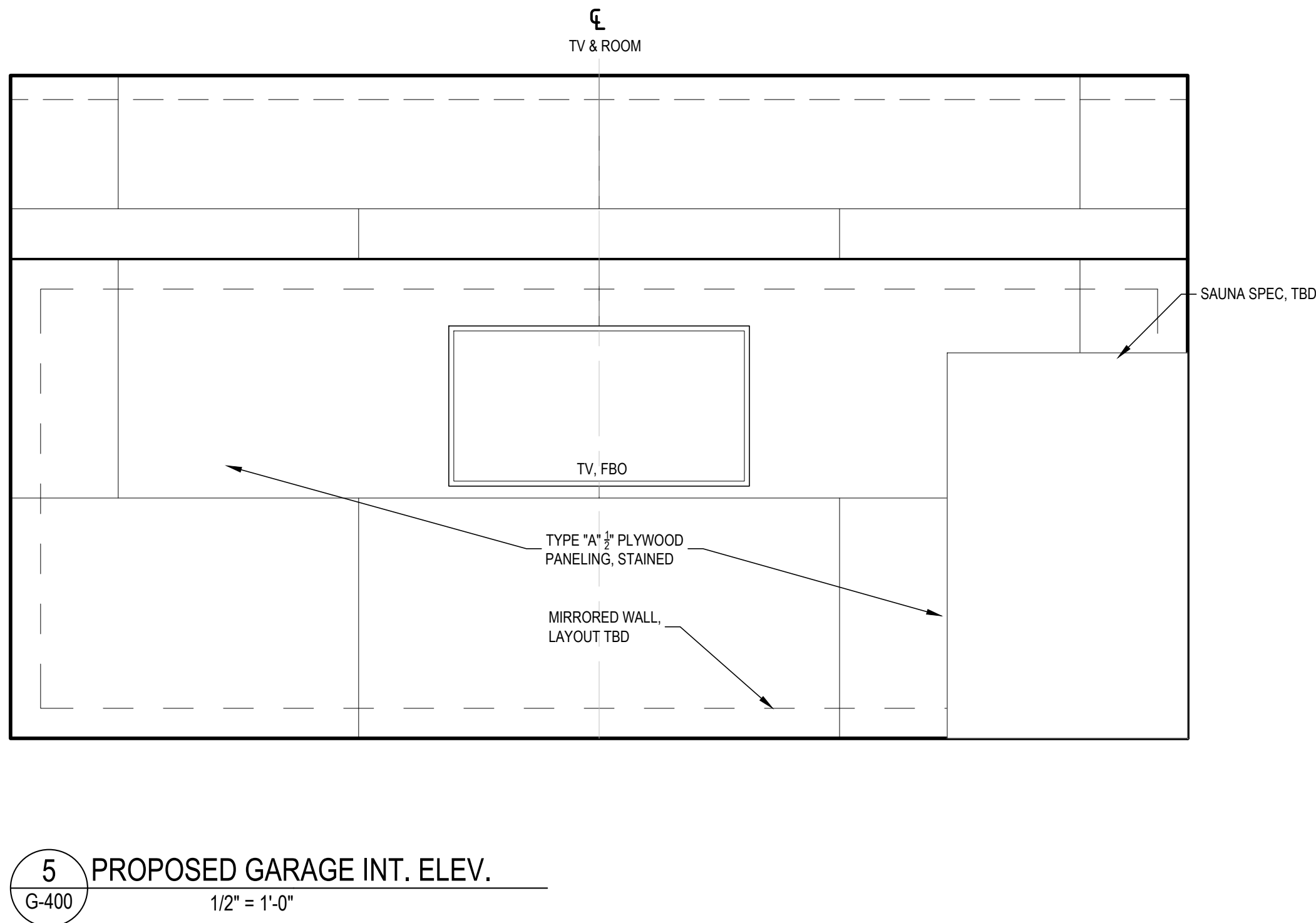
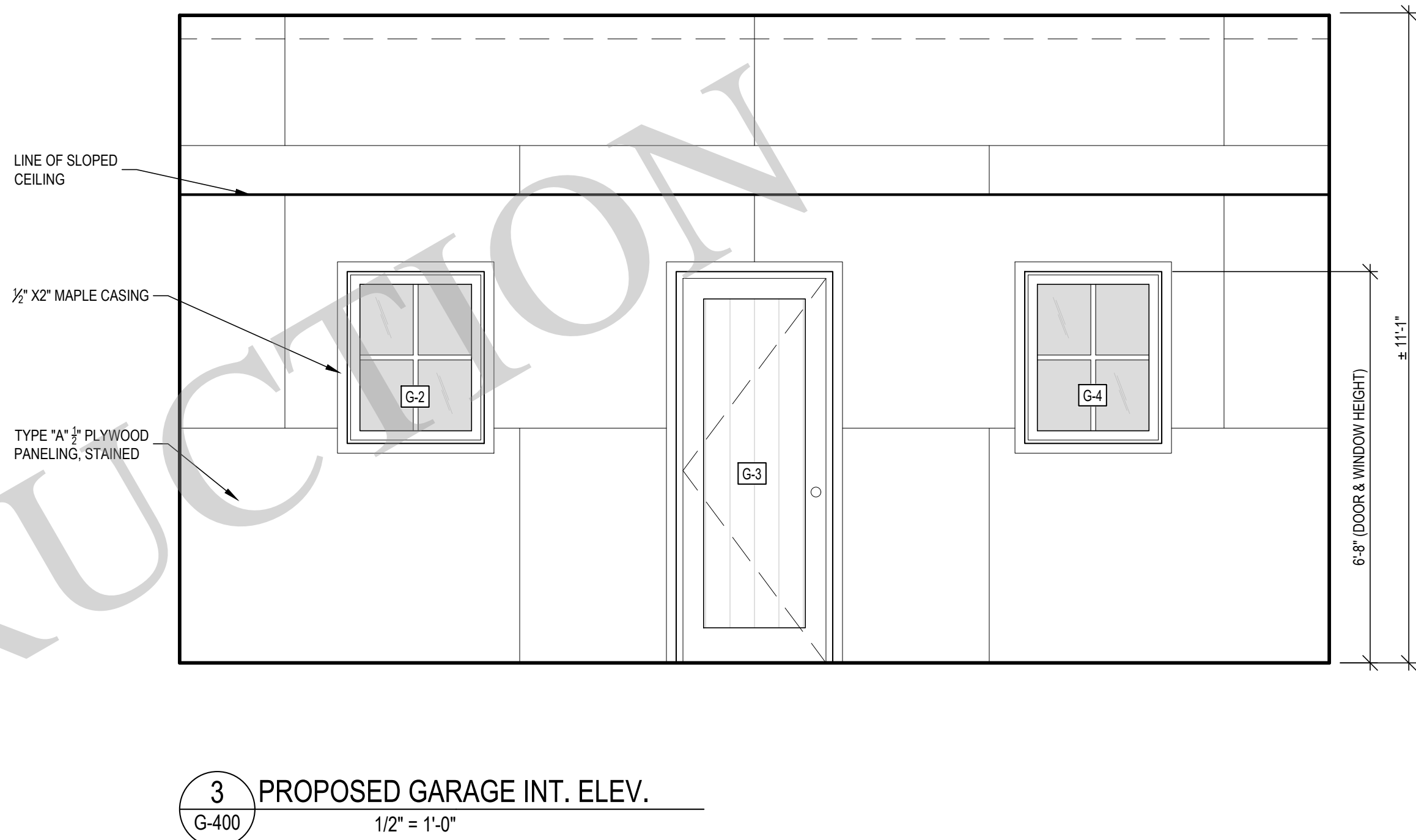
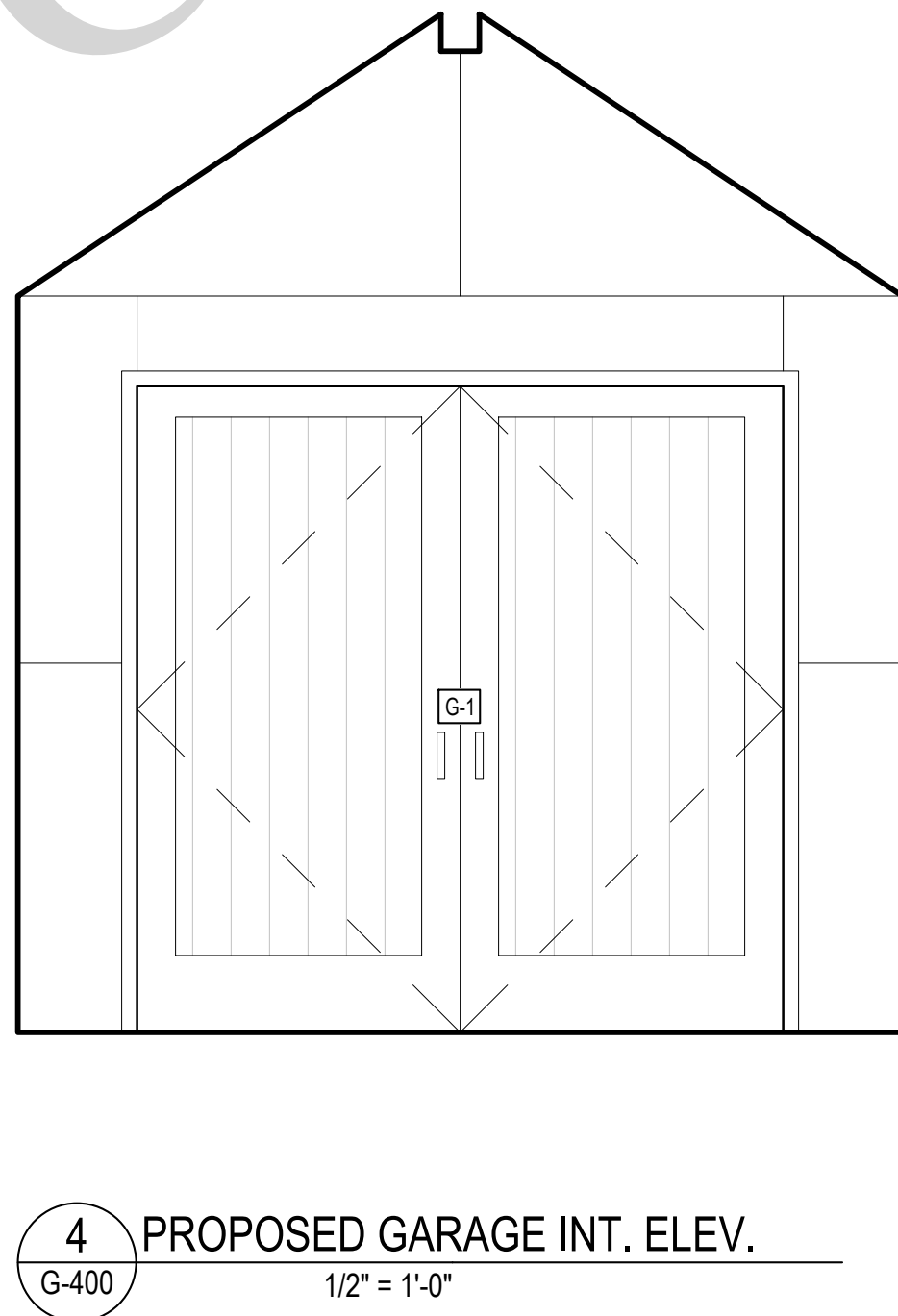
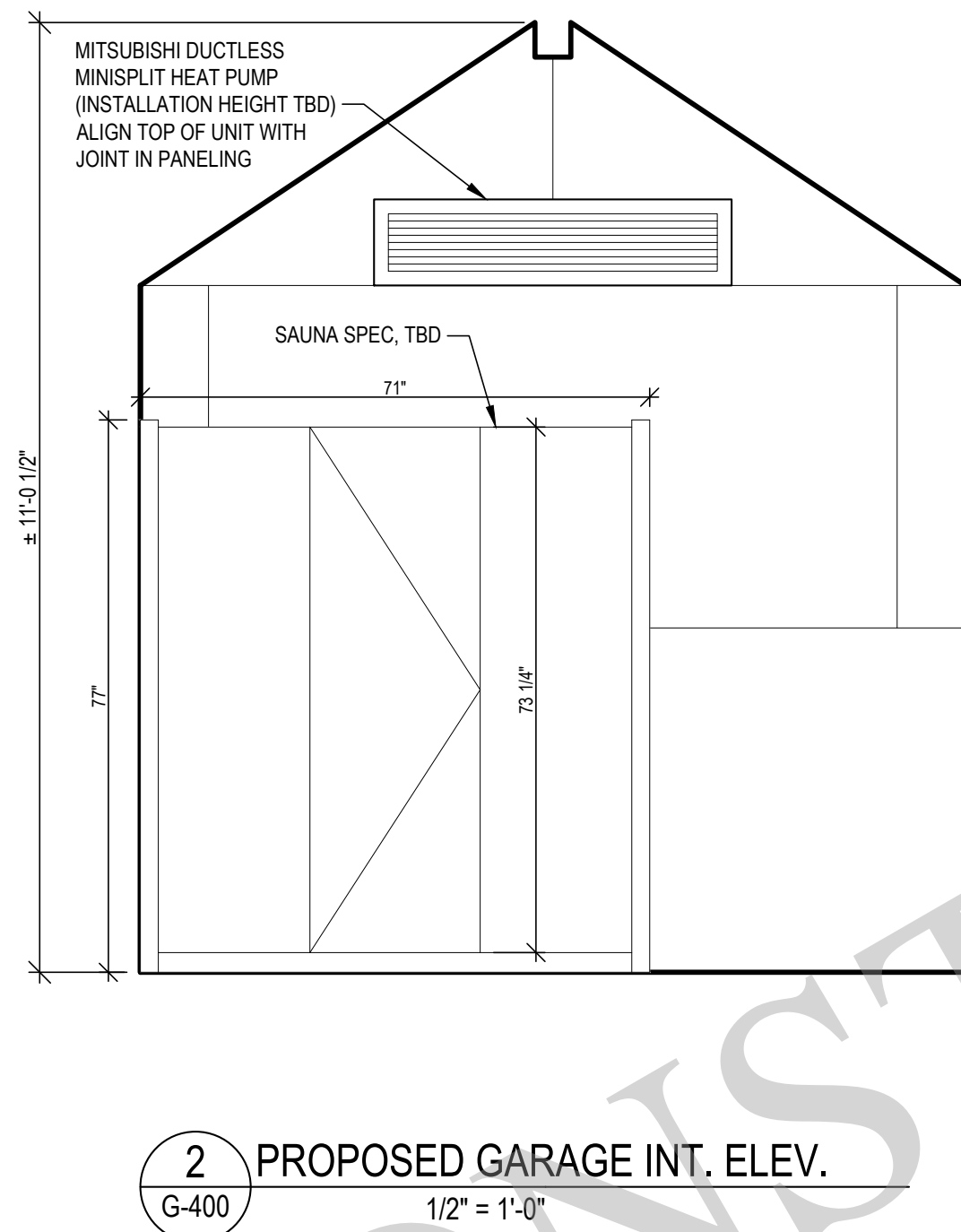
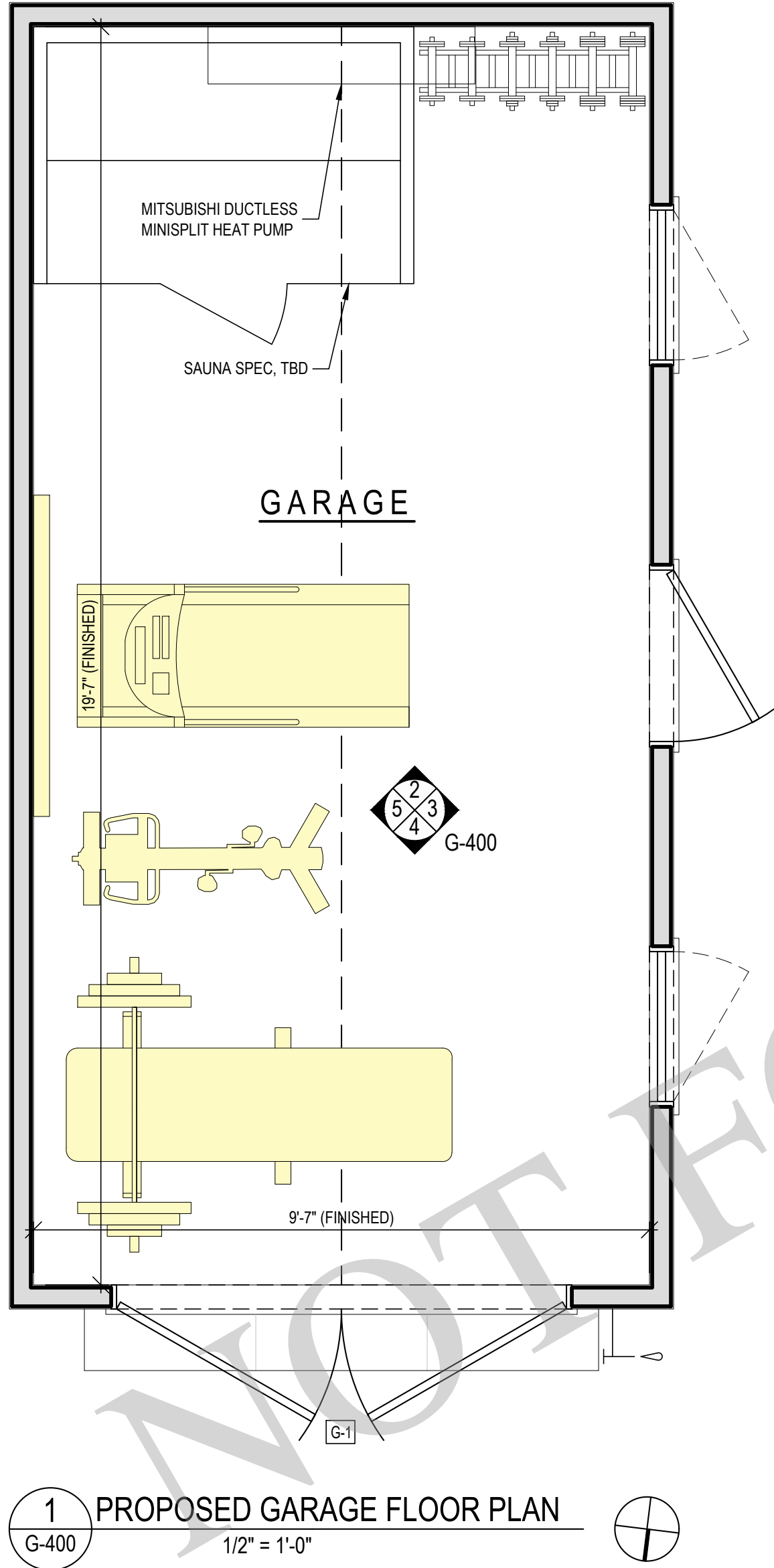
**PROPOSED FIRST &
SECOND FLOOR
FURNITURE PLAN**

SCALE: AS NOTED

F-101

© JOSEPH PAGAC ARCHITECT PC

FILE NAME C:\Users\16318\Dropbox\JPA-CD Share\2209 - LYSIAK\Drawings\2209-Con Docs-Garage.dwg SAVED ON 2/17/2025 2:16 PM PLOTTED ON 2/17/2025 3:12 PM PLOTTED BY CHRISTIAN DISILVESTRE



SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

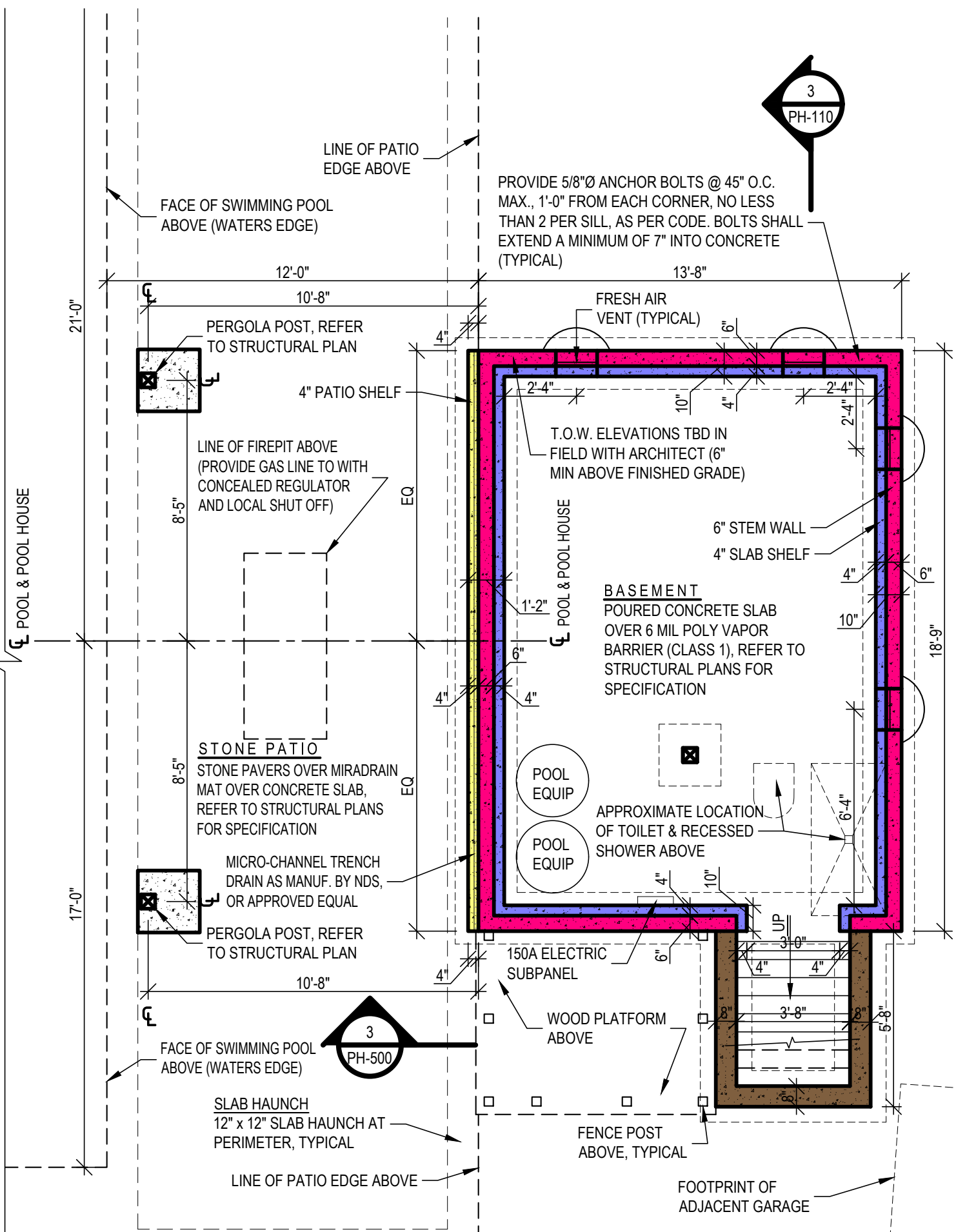
PROPOSED GARAGE
INTERIOR ELEVATIONS

SCALE: AS NOTED

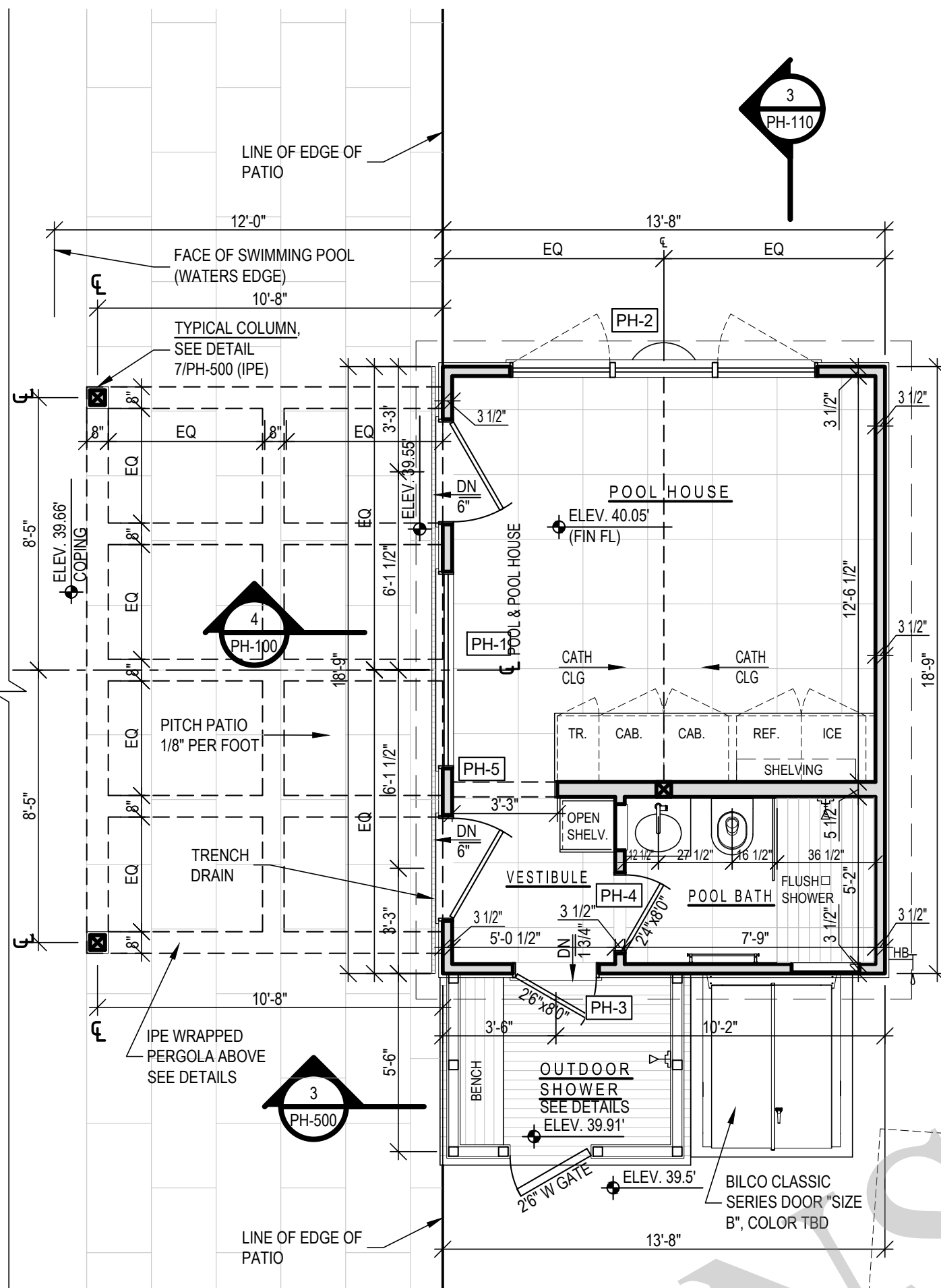
G-400

© JOSEPH PAGAC ARCHITECT PC

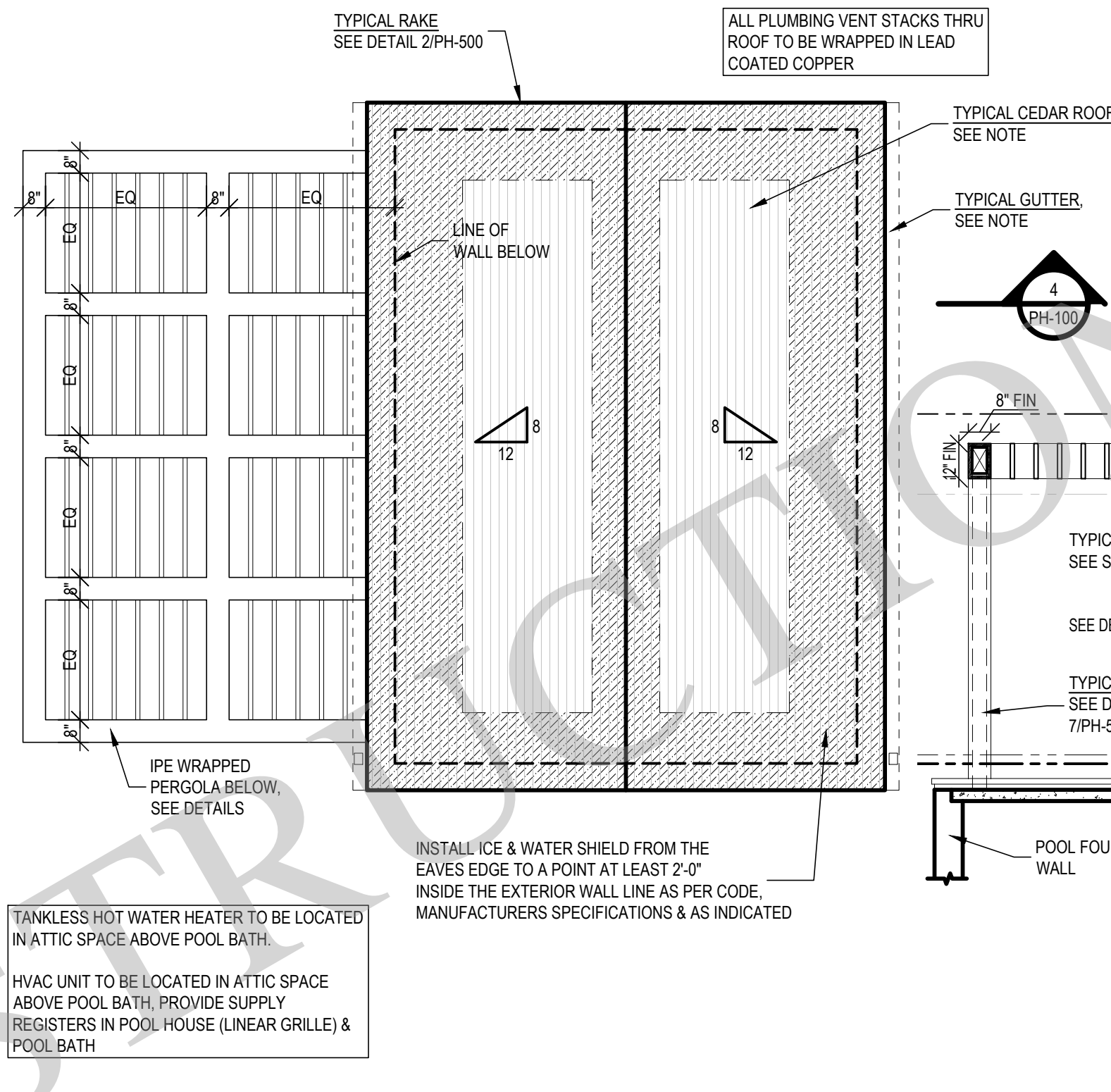
FILE NAME C:\Users\16318\Dropbox\JPA-CD Share\2209 1\SIAD\Drawings\2209-Con Docs-PH.dwg SAVED ON 2/17/2025 2:35 PM PLOTTED ON 2/17/2025 3:10 PM PLOTTED BY CHRISTIAN DISILVESTRE



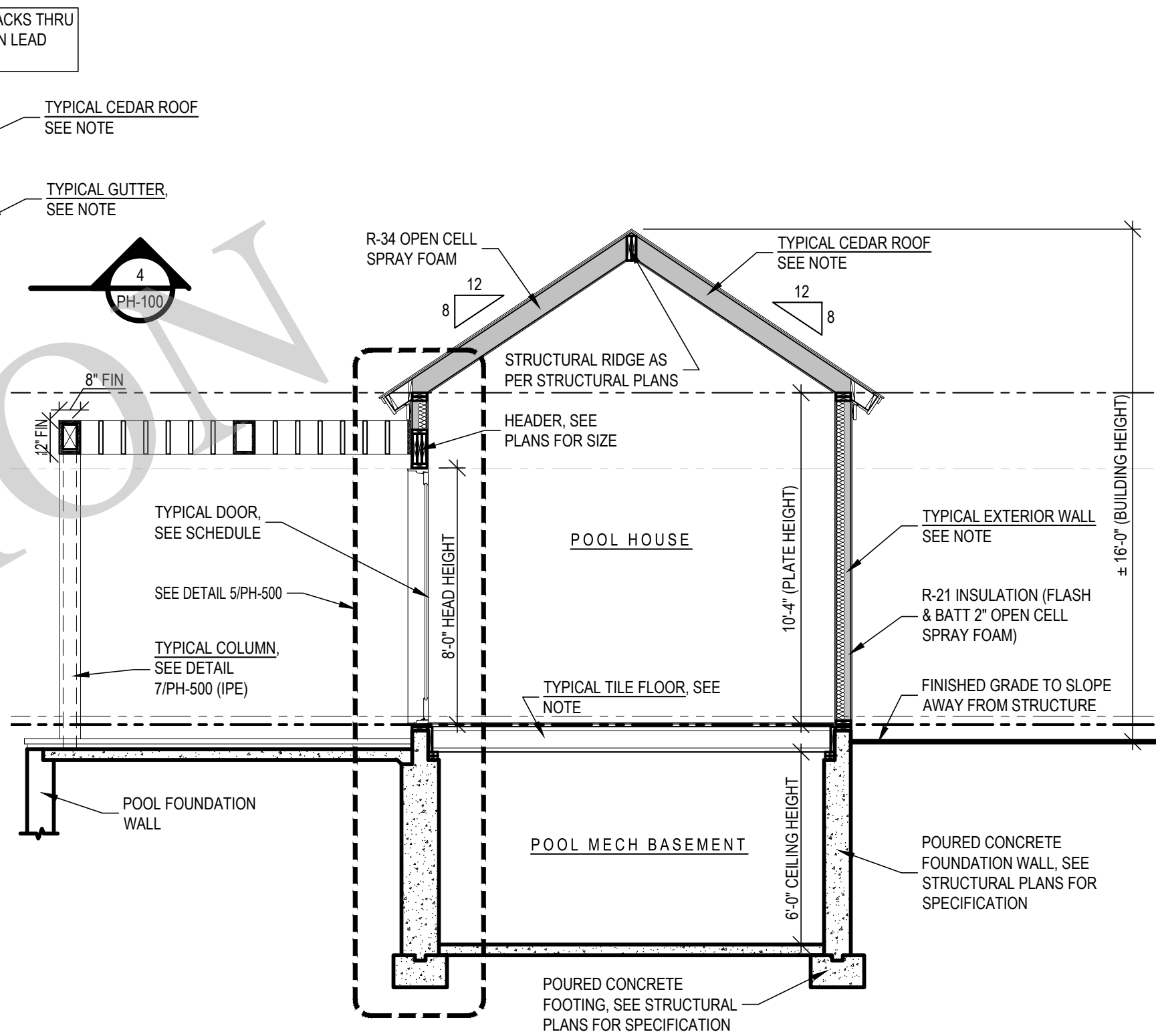
1 PROPOSED POOL HOUSE FOUNDATION PLAN
PH-100
1/4" = 1'-0"



2 PROPOSED POOL HOUSE FLOOR PLAN
PH-100
1/4" = 1'-0"

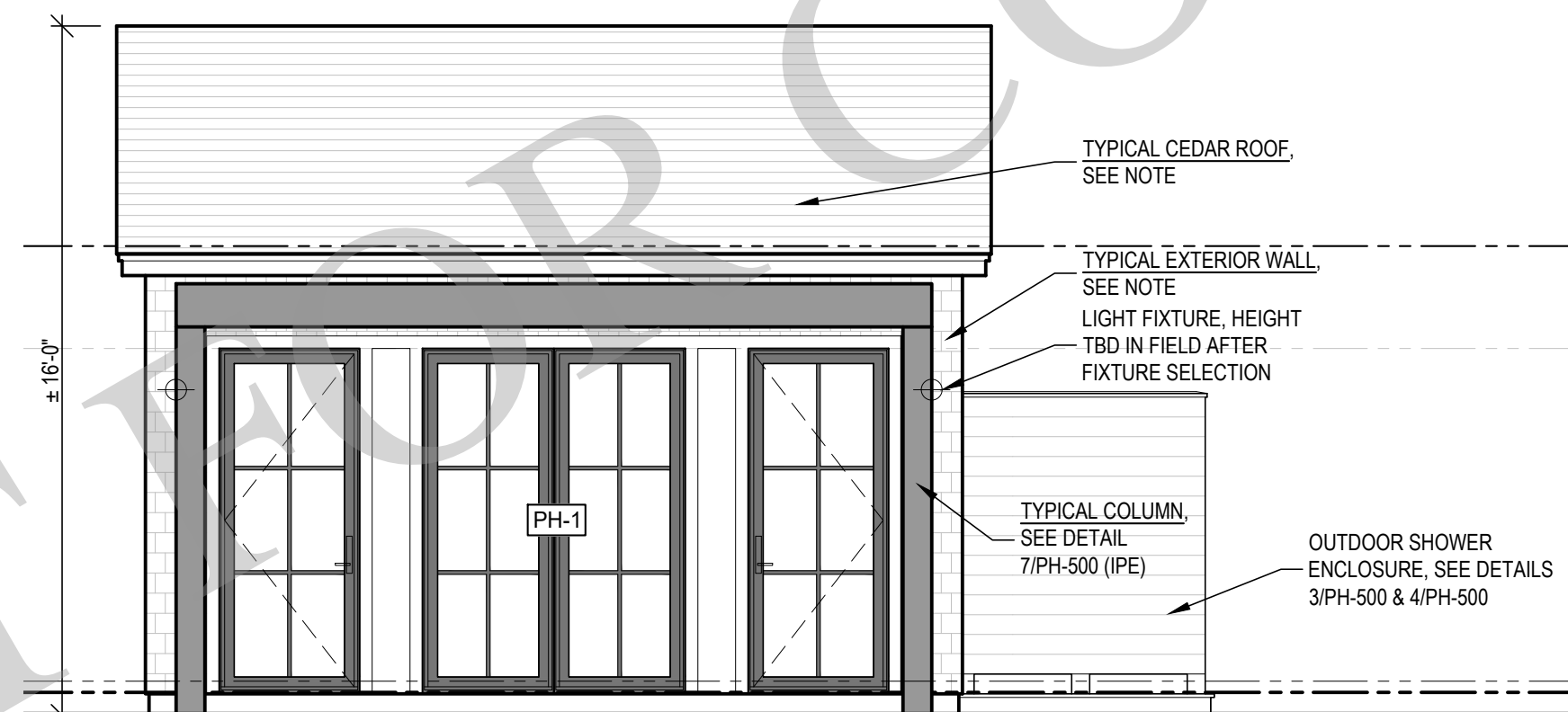


3 PROPOSED POOL HOUSE ROOF PLAN
PH-100
1/4" = 1'-0"

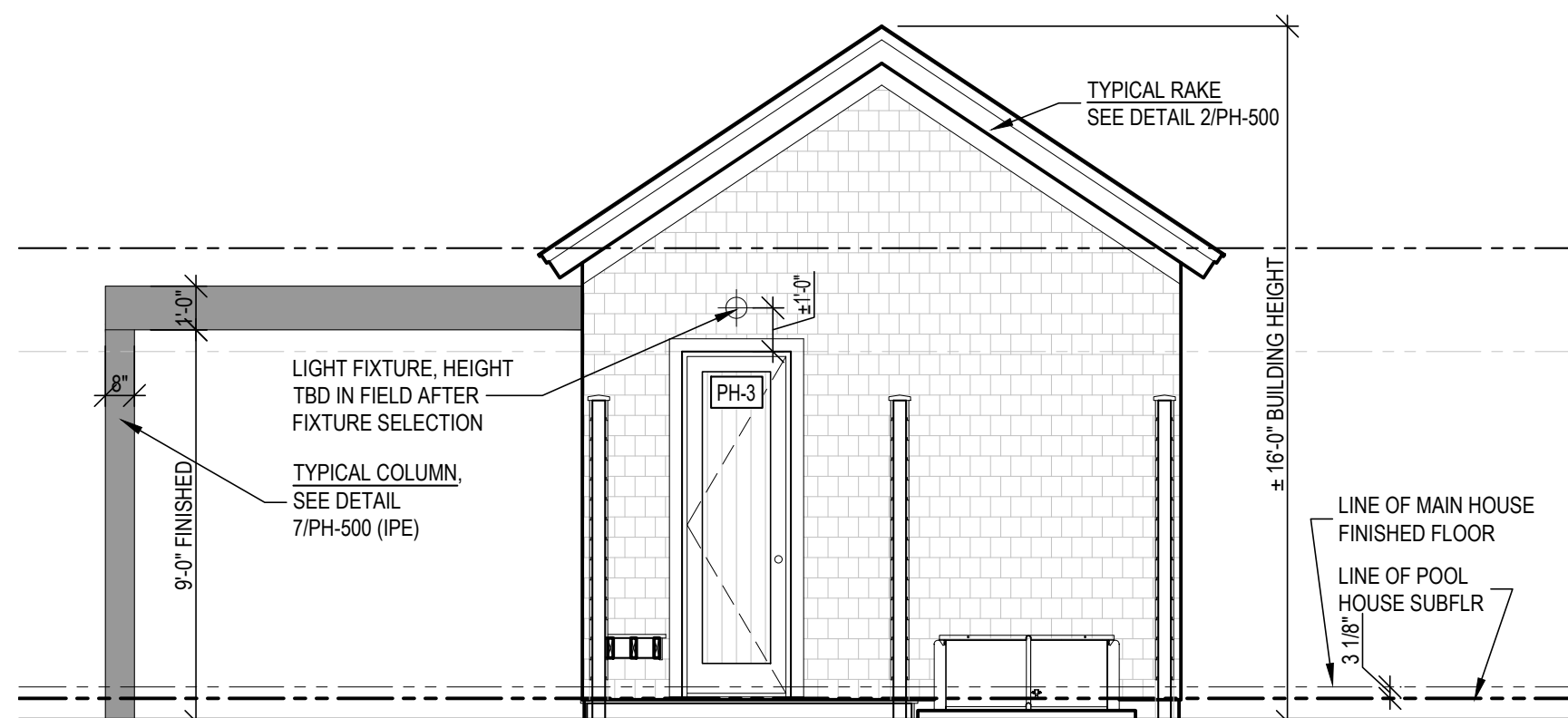


4 PROPOSED CROSS-SECTION
PH-100
1/4" = 1'-0"

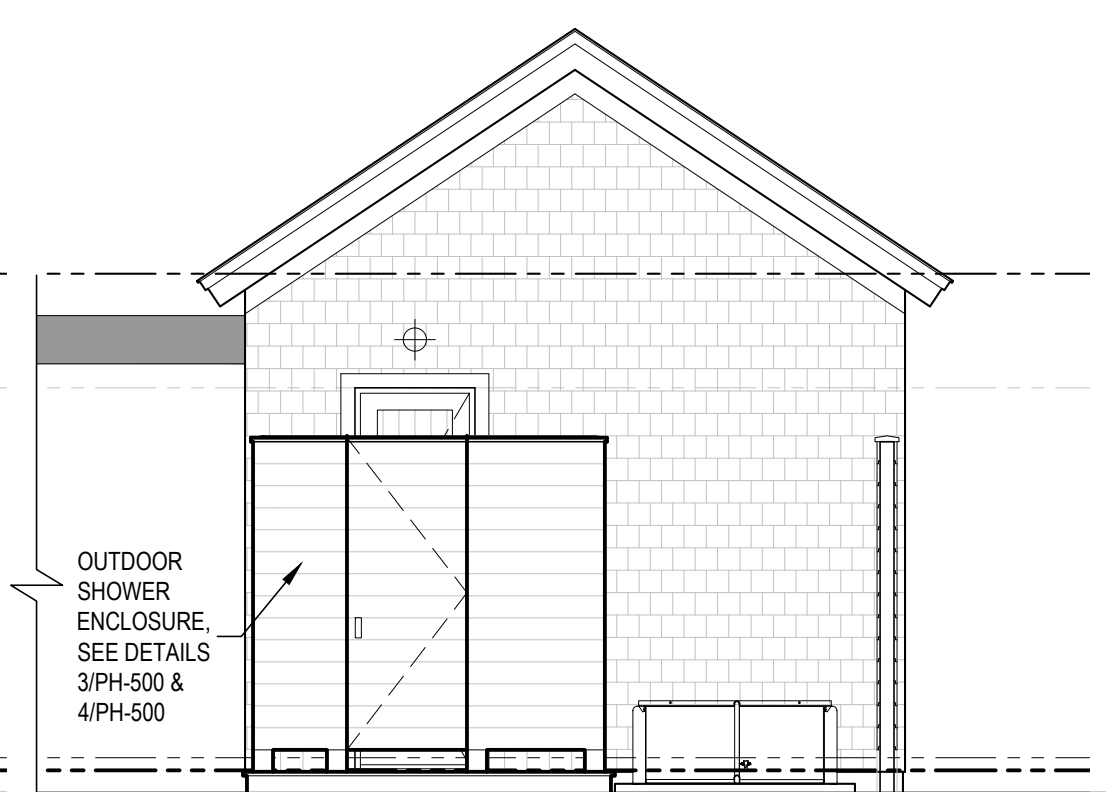
COLOR CODED DRAWING. PLEASE CONFIRM DRAWING IS A COLOR COPY PRIOR TO CONSTRUCTION.	
EXACT POOL HOUSE ELEV. TBD IN FIELD WITH ARCHITECT AT TIME OF EXCAVATION.	
POOL HOUSE WALL HEIGHT LEGEND	
TOP OF MAIN HOUSE FIN 1ST FLOOR: ELEV. 0'-0" (40.25')	
TOP OF POOL HOUSE FIN FLOOR: ELEV. 0'-2 3/8" (40.04')	
T.O.W. ELEV. -0'-5 3/8" (39.80')	
T.O.W. ELEV. -0'-7" (39.66')	
T.O.W. : ELEV. -1'-4 3/8" (38.875')	
T.O.W. : ELEV. -1'-6" (38.75')	
TOP OF POOL HOUSE BASEMENT SLAB: ELEV. -7'-1 3/8" (33.125')	
TOP OF POOL HOUSE FOOTING: ELEV. -7'-5 3/8" (32.80')	
BOTTOM OF POOL HOUSE FOOTING: ELEV. -8'-5 3/8" (31.80')	



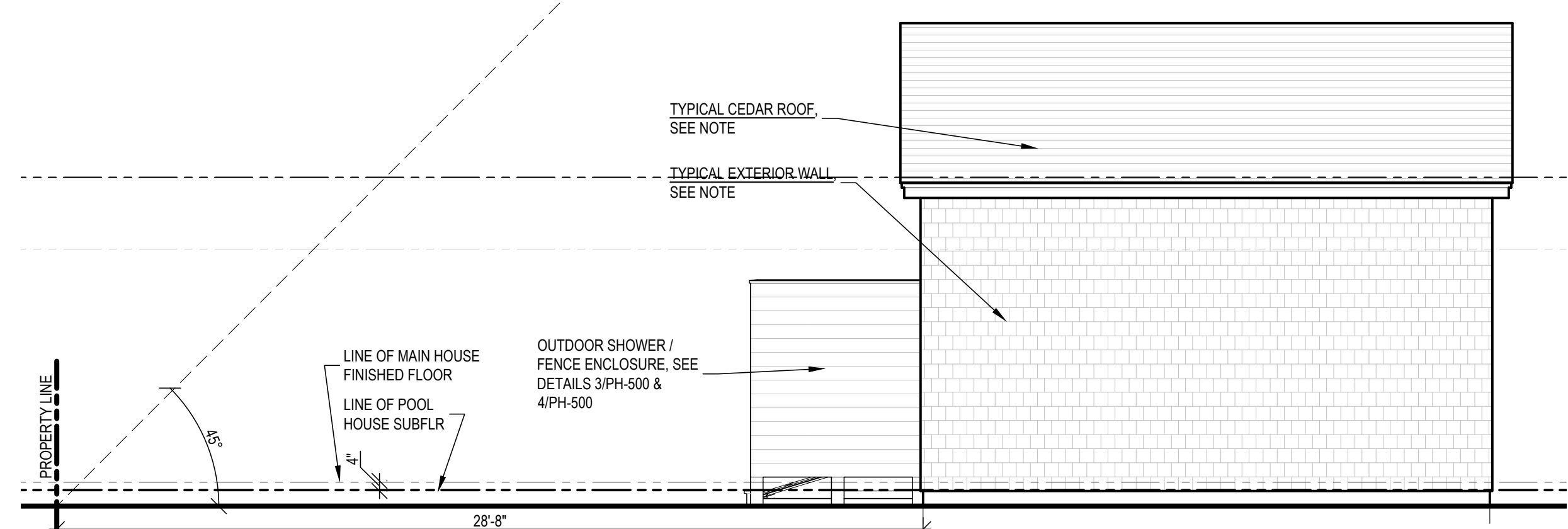
5 PROPOSED WEST ELEVATION (FRONT)
PH-100
1/4" = 1'-0"



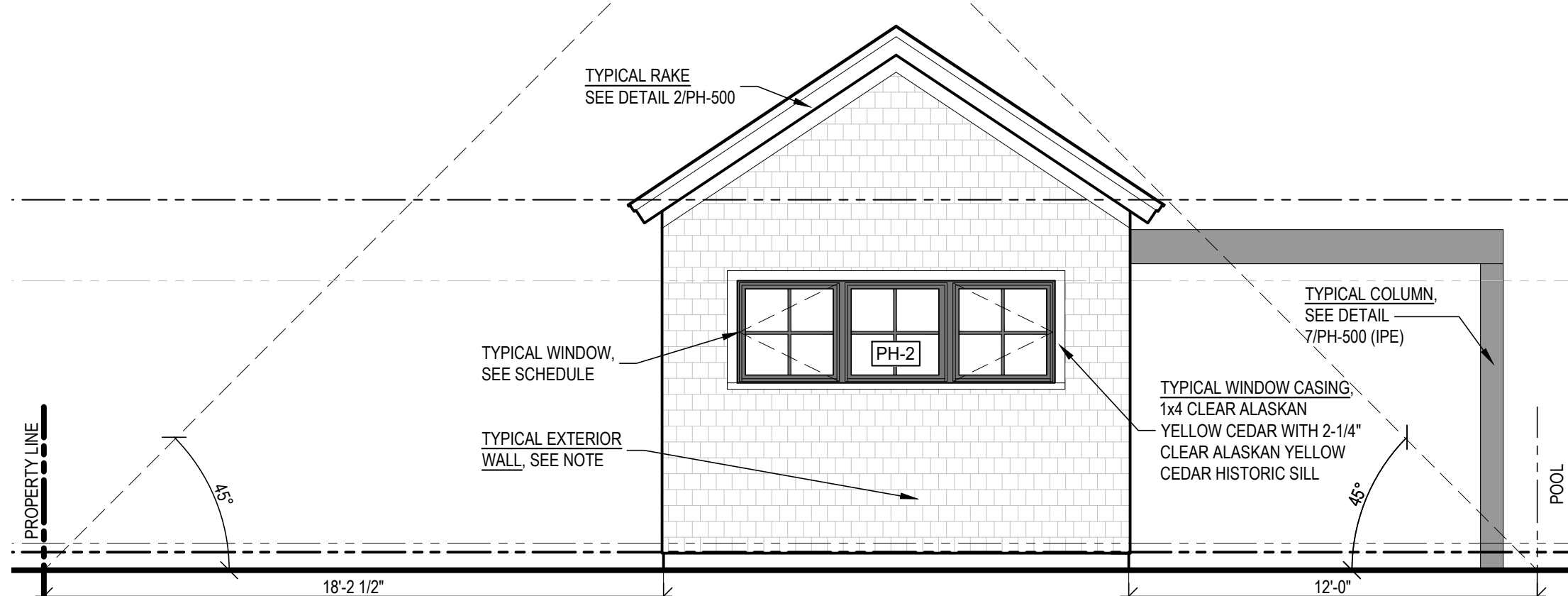
6 PROPOSED SOUTH ELEVATION (SIDE)
PH-100
1/4" = 1'-0"



7 PROPOSED SOUTH ELEVATION (SIDE)
PH-100
1/4" = 1'-0"



8 PROPOSED EAST ELEVATION (REAR)
PH-100
1/4" = 1'-0"



9 PROPOSED NORTH ELEVATION (SIDE)
PH-100
1/4" = 1'-0"

TYPICAL CEDAR ROOF
CCA ALASKAN YELLOW CEDAR SHINGLES TO BE CERT-LAST TAPER SAWN 5/8" THICK x 18" LONG, RANDOM WIDTH, 5 1/2" EXPOSURE, WITH COPPER FLASHING & DRIP EDGE OVER VENTGRID 12" OVER 30# BUILDING FELT OVER 3/4" CDX PLYWOOD SHEATHING OVER ROOF RAFTERS (SEE STRUCTURAL PLAN). INSTALL ICE & WATER SHIELD FROM THE EAVES EDGE TO A POINT AT LEAST 2'-0" INSIDE THE EXTERIOR WALL LINE AND AT ALL VALLEYS, HIPS, & AS INDICATED ON ROOF PLAN AND AS REQUIRED TO MEET CODE.

TYPICAL GUTTER
6" HALF ROUND LEAD COATED COPPER GUTTERS WITH 4" LEADERS TO DRAIN TO NEW DRYWELL SYSTEM (SEE SURVEY FOR SIZE & LOCATION). ALL UNDERGROUND PIPING TO BE SCHEDULE 40 PVC SDR 35.

TYPICAL EXTERIOR WALL - CEDAR SIDING
NEW ALASKAN YELLOW CEDAR SHINGLES OVER BENJAMIN OBYKE SLICKER MAX RAINSCREEN OVER BENJAMIN OBYKE FLAT WRAP HP HOUSEWRAP OVER 5/8" CDX PLYWOOD SHEATHING OVER 2" X 6" STUD WALL. FILL WITH INSULATION AS PER ENERGY DOCUMENTS AND FINISH WITH 4 MIL POLY VAPOR BARRIER & 5/8" GYPSUM BOARD. GYPSUM BOARD TO BE SCREWED, TAPED, SPACKLED (3 COATS), & SANDED, READY FOR PAINT.

ALL INTERIOR WALLS TO RECEIVE SOUND ATTENUATION INSULATION. SOUND ATTENUATION INSULATION TO BE "ROXUL - SAFE 'N' SOUND", INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS

TYPICAL TILE FLOOR
TILE FLOOR AS PER FLOOR FINISH PLAN OVER DITRA UNCOUPLING MAT MANUFACTURED BY SCHLUTER SYSTEMS (INSTALL AS PER MANUFACTURER'S SPECIFICATIONS) OVER #30 BUILDING PAPER OVER POURED CONCRETE SLAB AS PER STRUCTURAL PLANS

ALL MECHANICAL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, BOILER, FURNACE, HOT WATER HEATER, AIR HANDLERS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS TO COMPLY WITH CODE.

TYPICAL DECK
NEW 5/4x4 IPE DECKING INSTALLED WITH CONCEALED FASTENERS (5/32" SPACING, IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS) OVER A.C.Q. DECK JOISTS AS INDICATED ON STRUCTURAL PLANS.

SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

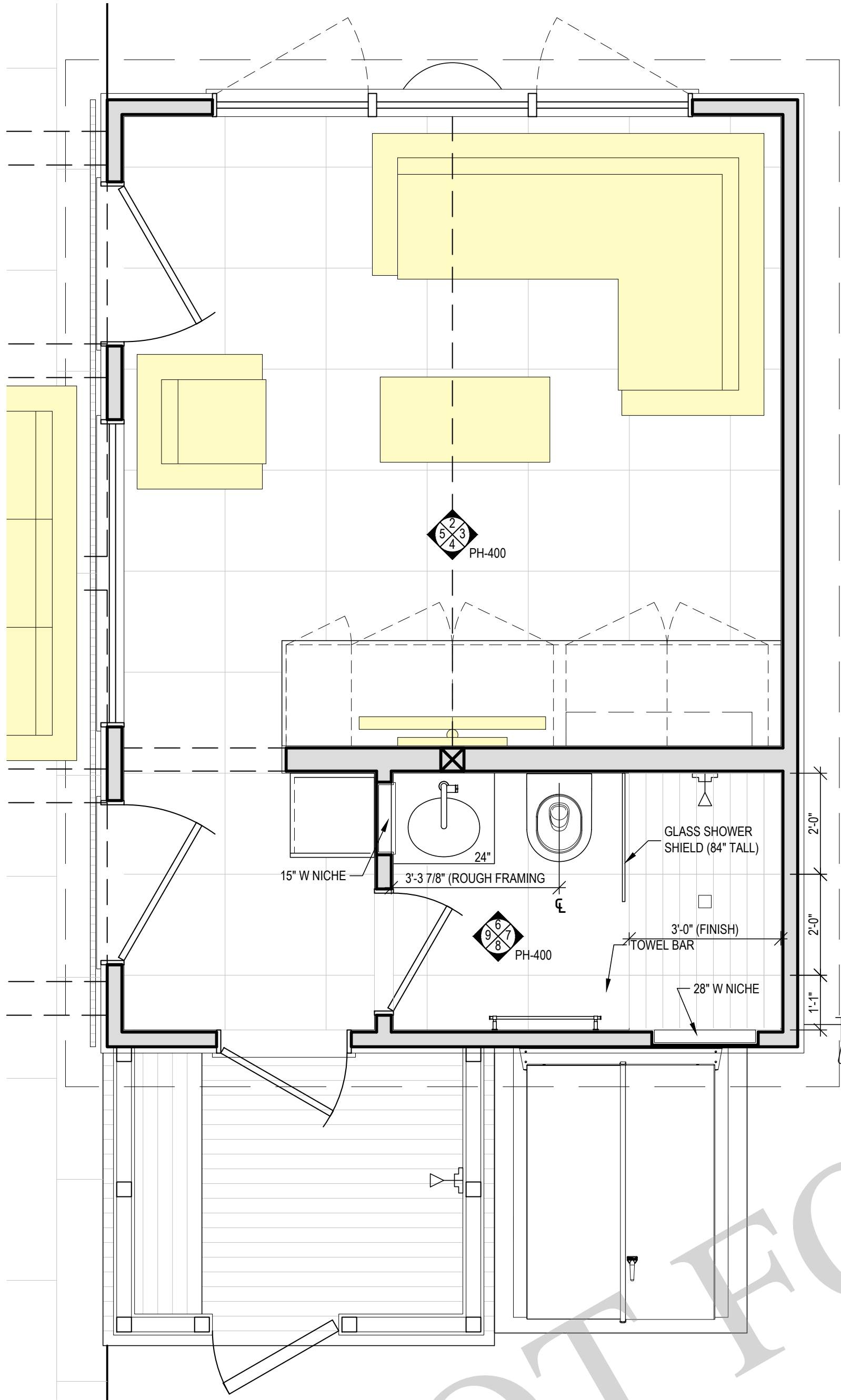
PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

**PROPOSED POOL
HOUSE PLANS, ELEV.
& SECTION**

SCALE: AS NOTED

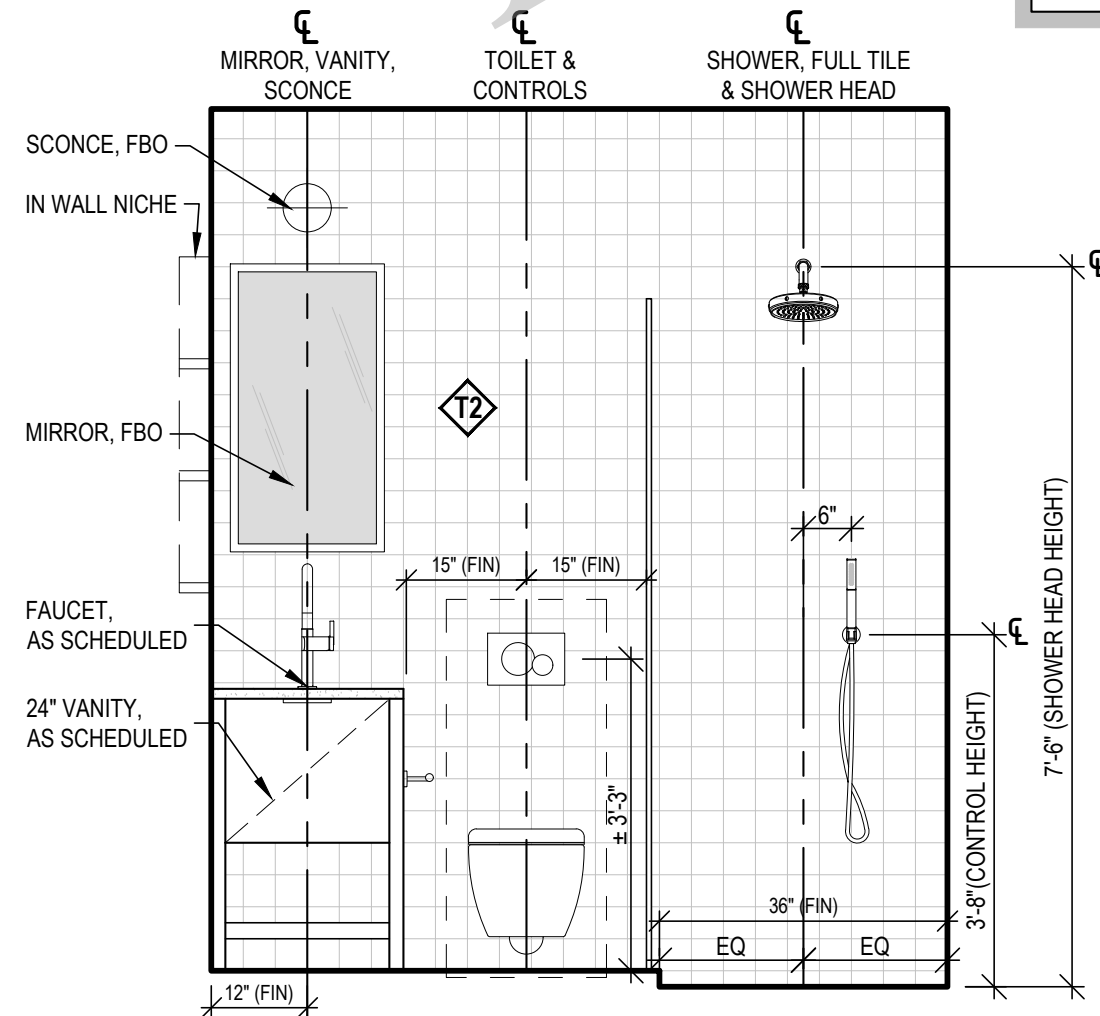
PH-100

© JOSEPH PAGAC ARCHITECT PC

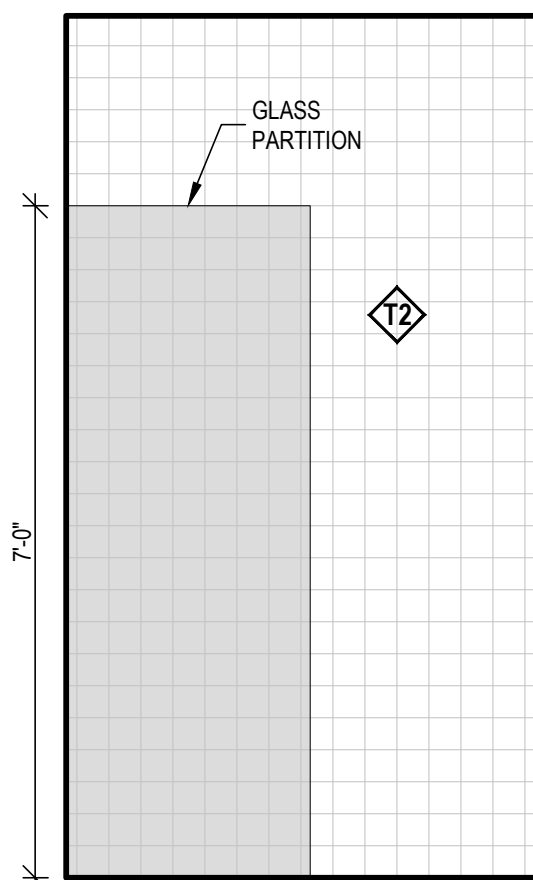


1 PROPOSED POOL HOUSE FLOOR PLAN
PH-400 1/2" = 1'-0"

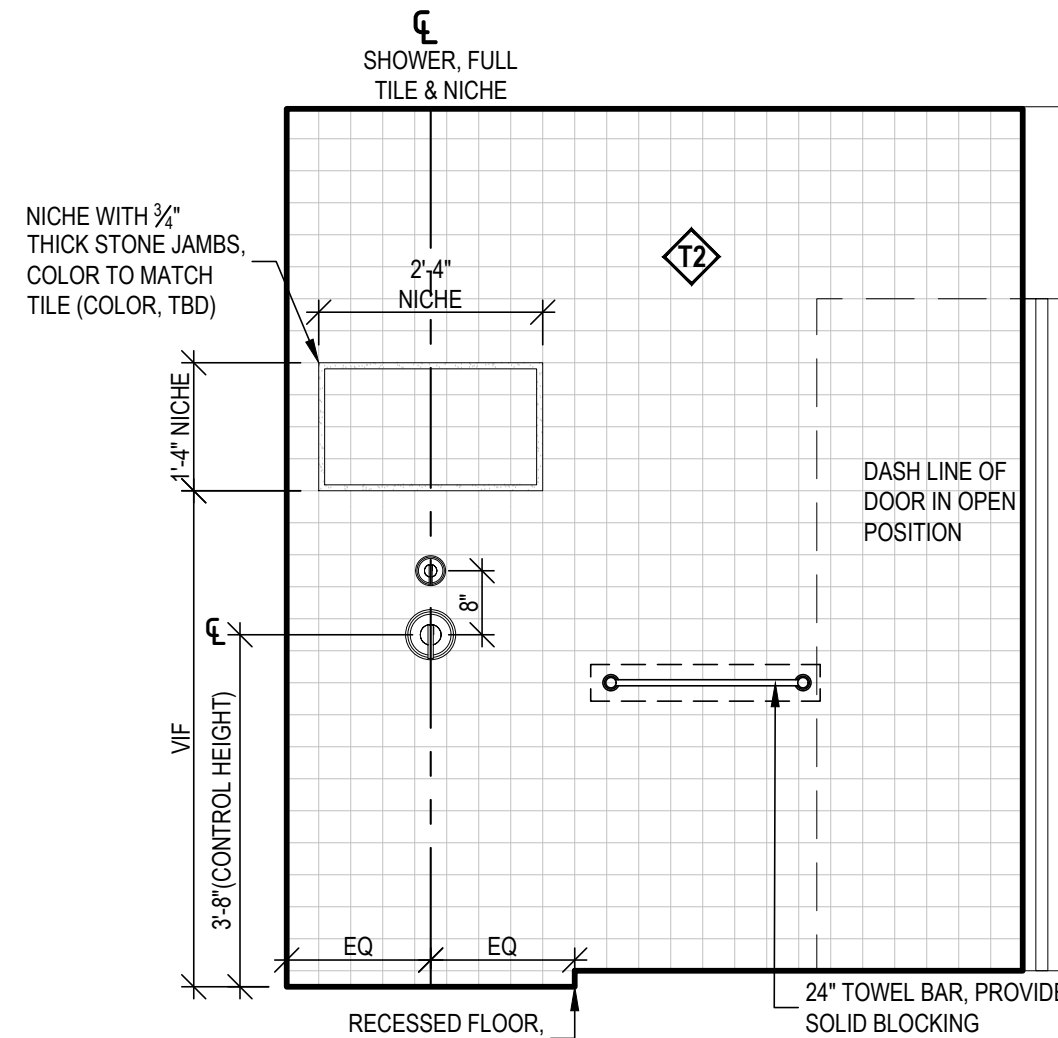
TILE WALLS & FLOORING:
SEE STONE & TILE SCHEDULE ON SHEET
A-110 FOR SPECIFICATIONS.



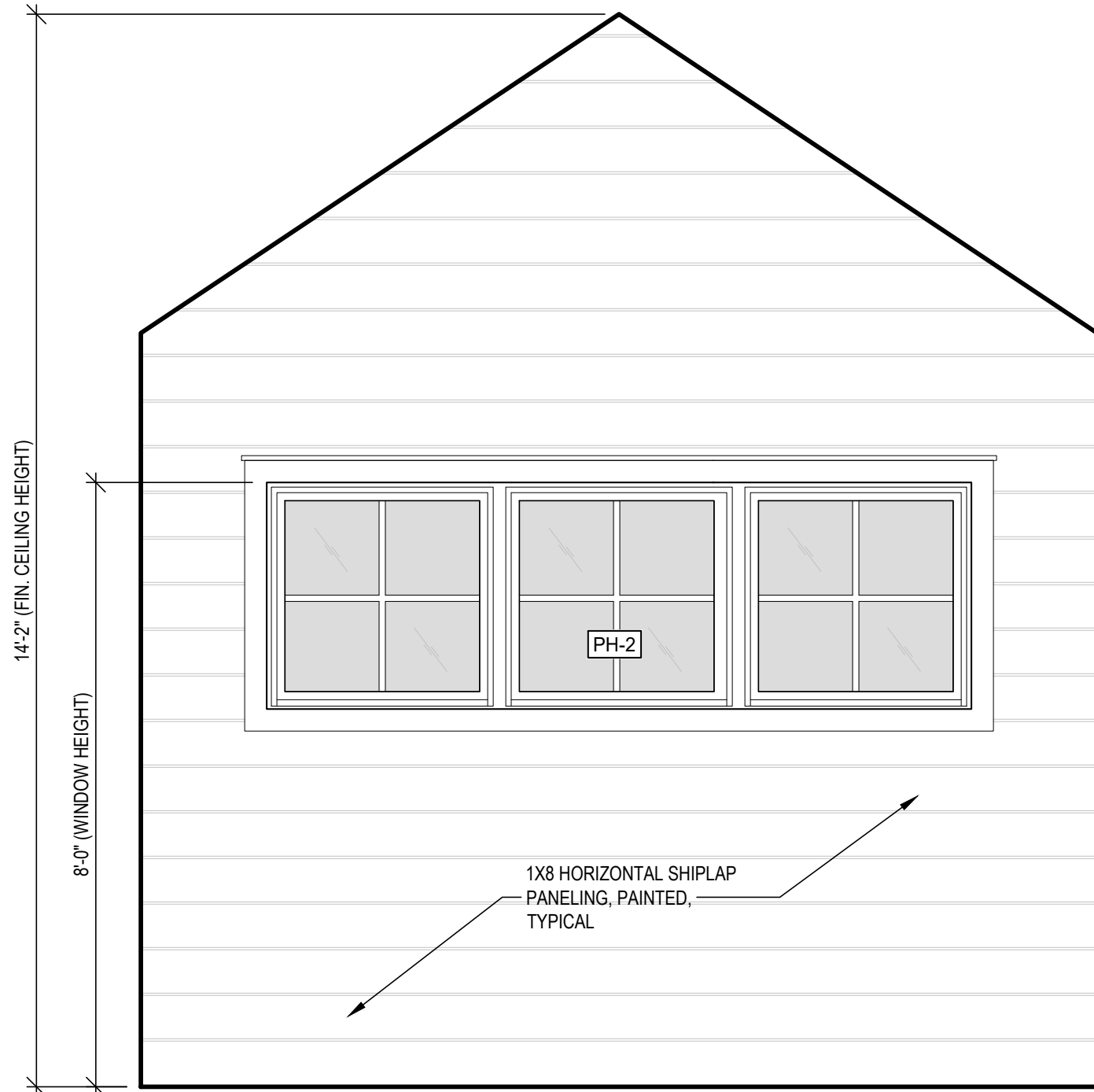
6 PROPOSED POOL BATH ELEV.
PH-400 1/2" = 1'-0"



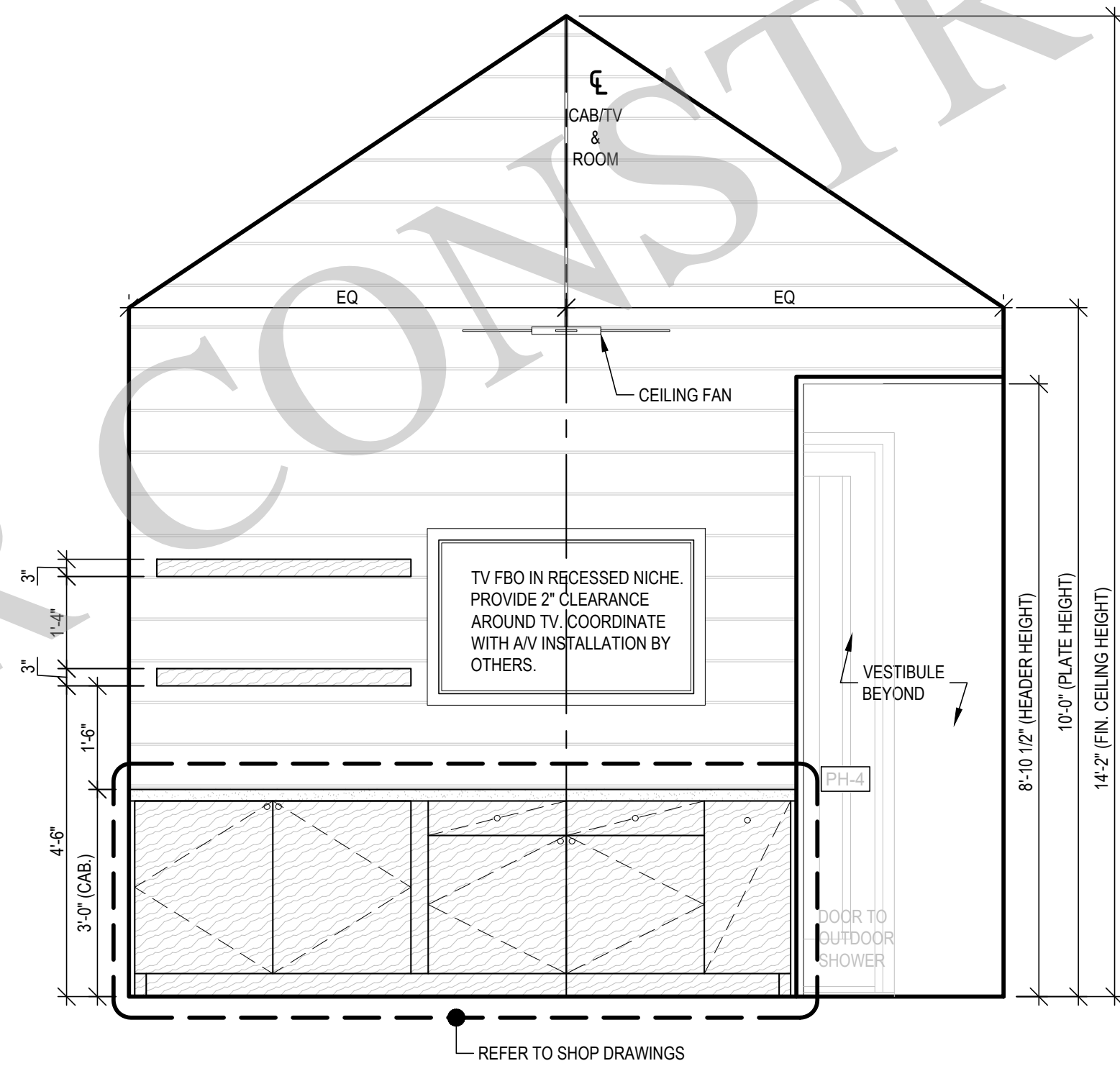
7 PROPOSED POOL BATH ELEV.
PH-400 1/2" = 1'-0"



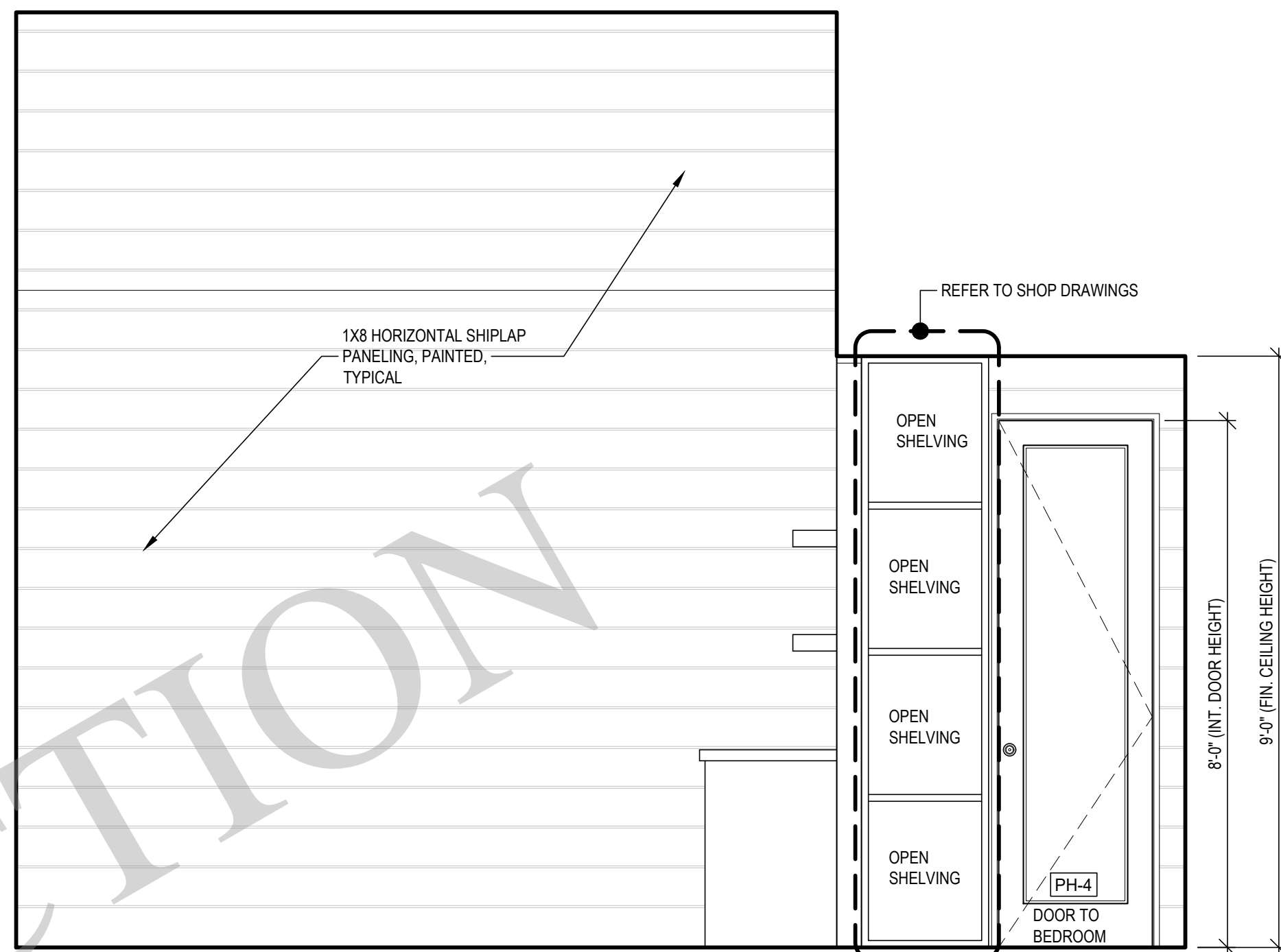
8 PROPOSED POOL BATH ELEV.
PH-400 1/2" = 1'-0"



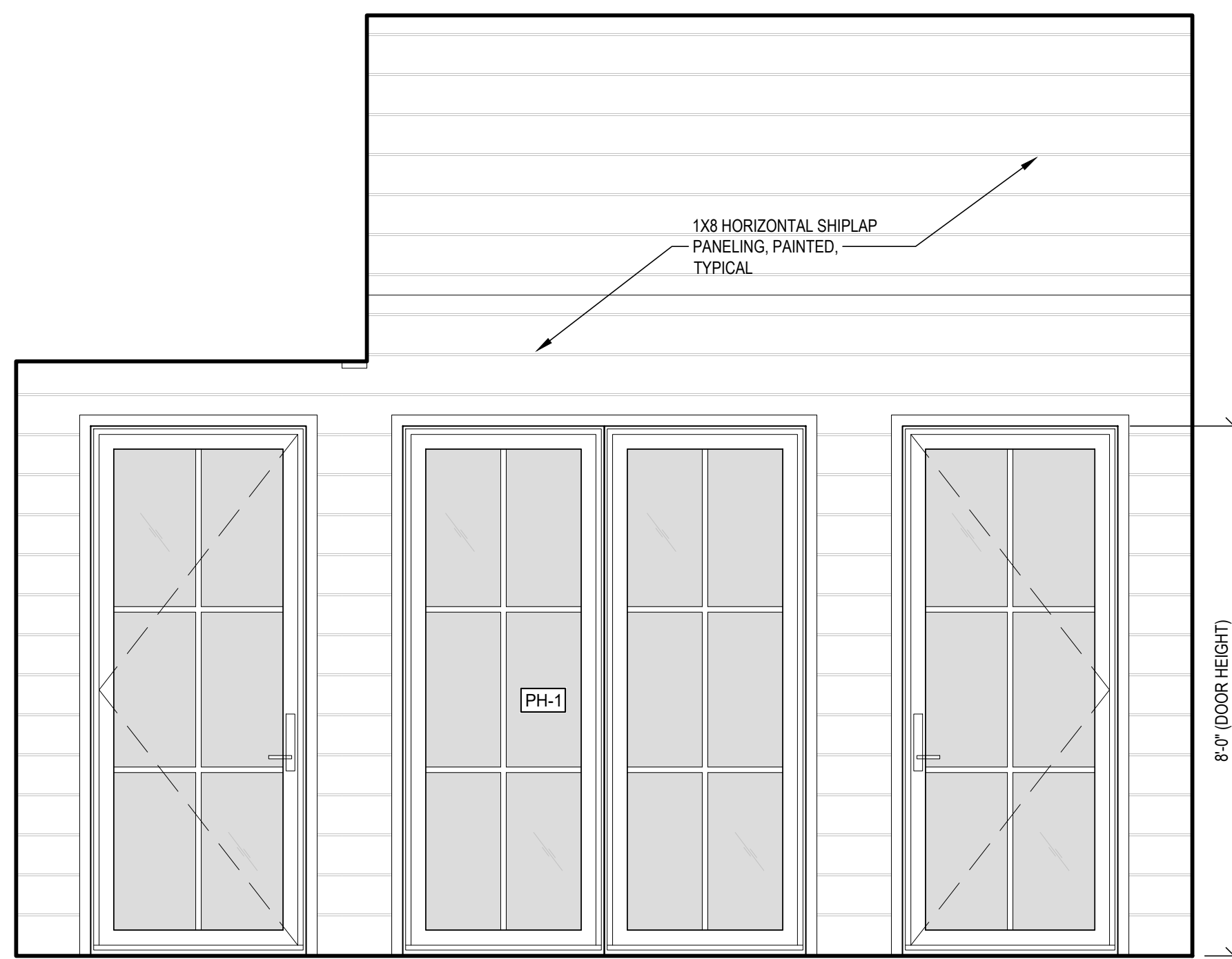
2 PROPOSED POOL HOUSE ELEV.
PH-400 1/2" = 1'-0"



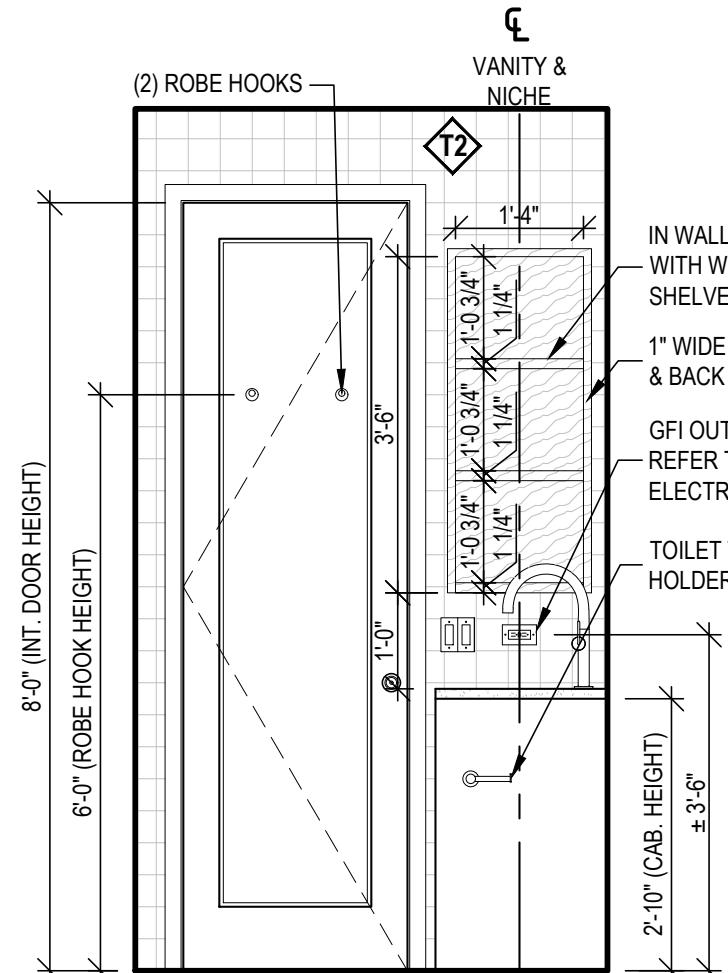
4 PROPOSED POOL HOUSE ELEV.
PH-400 1/2" = 1'-0"



3 PROPOSED POOL HOUSE ELEV.
PH-400 1/2" = 1'-0"



5 PROPOSED POOL HOUSE ELEV.
PH-400 1/2" = 1'-0"



9 PROPOSED POOL BATH ELEV.
PH-400 1/2" = 1'-0"

GENERAL BATHROOM NOTES:

1. REFER TO STONE & TILE SCHEDULE FOR ALL STONE & TILE SPECIFICATIONS.
2. REFER TO PLUMBING FIXTURE & FITTING SCHEDULE FOR ALL PLUMBING SPECIFICATIONS.
3. REFER TO BATHROOM ACCESSORIES SCHEDULE FOR ALL ACCESSORY SPECIFICATIONS. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED FOR PROPER ATTACHMENT. EXACT LOCATION OF ALL BATHROOM ACCESSORIES TO BE REVIEWED ON SITE WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
4. DECORATIVE WALL SCONCE FIXTURES & FRAMED MIRRORS TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. EXACT LOCATIONS TO BE REVIEWED ON SITE WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
5. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL BUILT-IN CABINETRY UNITS, SUCH AS CUSTOM VANITIES & MEDICINE CABINETS, ETC.
6. CONTRACTOR TO PROVIDE SHOP DRAWINGS & PHOTO LAYOUTS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL STONE SLAB PIECES, SUCH AS SHOWER JAMBS, SILLS, NICHE, BENCHES, COUNTERTOPS, FLOORING, ETC.
7. CONTRACTOR TO REVIEW ALL TILE LAYOUTS, GROUT, JOINTS & COLORS, AND DETAILS WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
8. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO FABRICATION FOR ALL CUSTOM CABINETRY & BUILT-IN MILLWORK.

SEAL

ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

**PROPOSED POOL
HOUSE PLANS
INTERIOR ELEVATIONS**

SCALE: AS NOTED

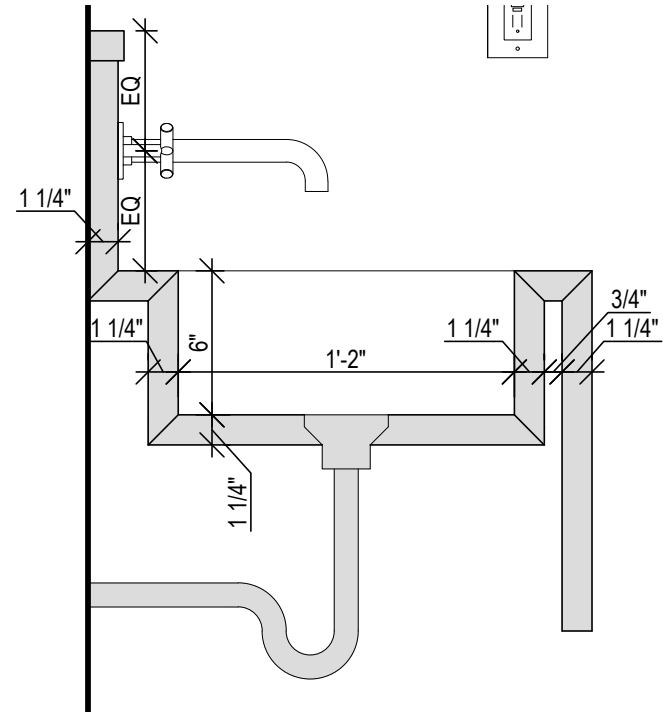
PH-400

© JOSEPH PAGAC ARCHITECT PC

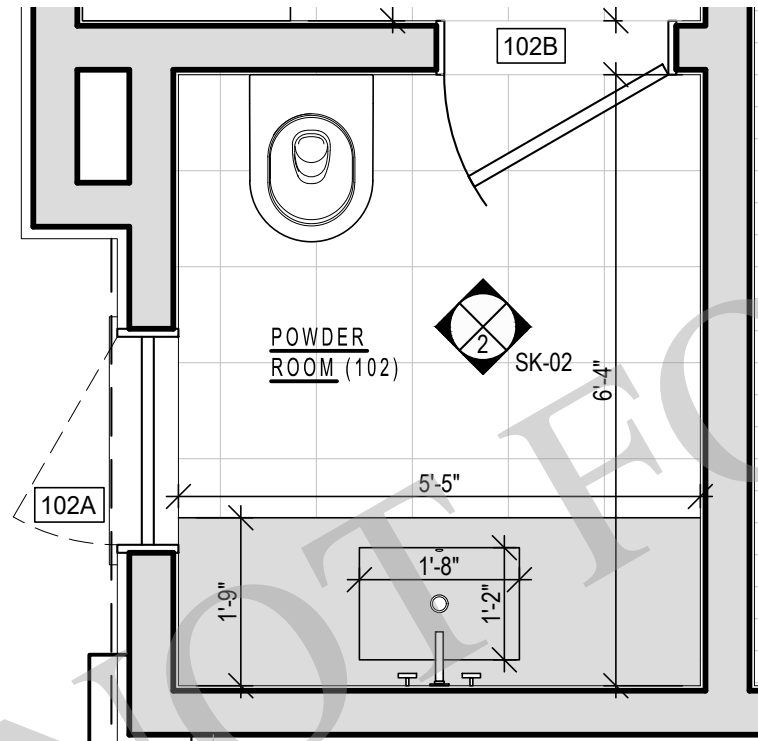
FOR PRICING PURPOSES ONLY,
NOT FOR CONSTRUCTION

NOTES:
CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.
ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

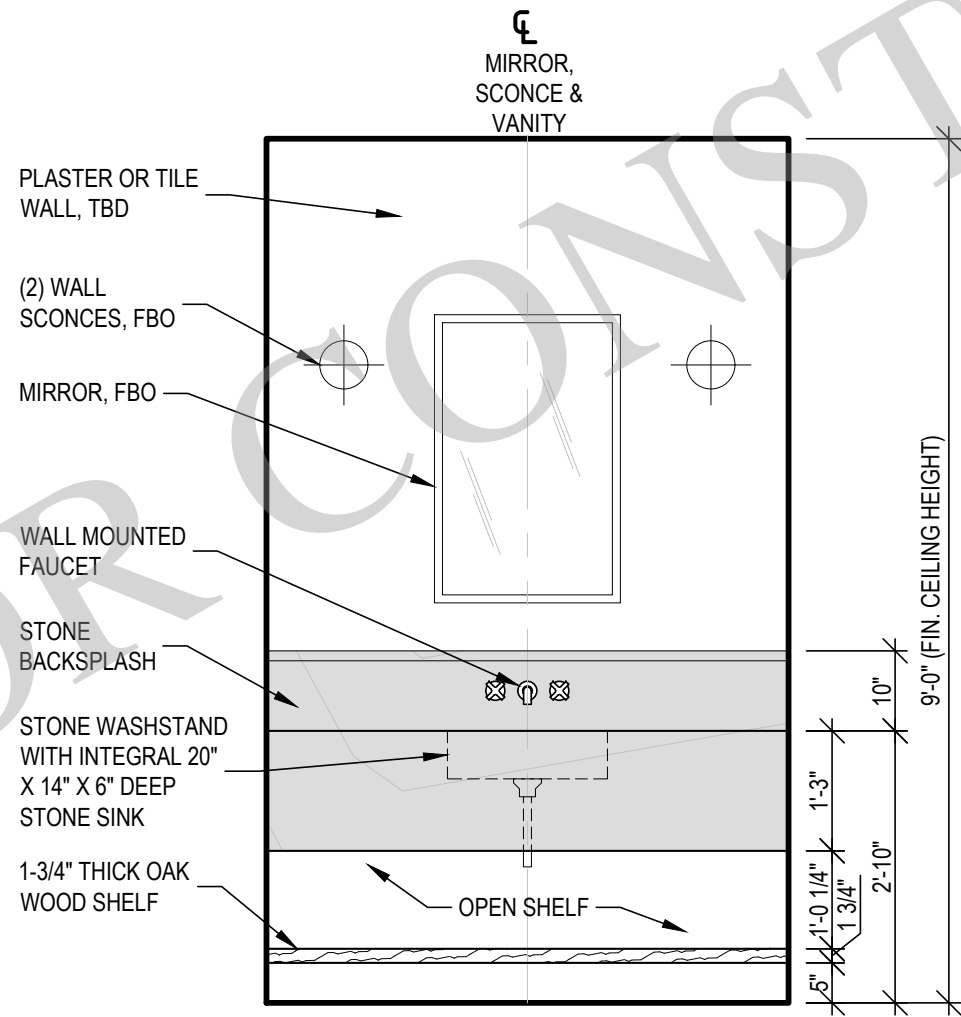
NOTE:
CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL OF STONE WASHSTAND PRIOR TO FABRICATION



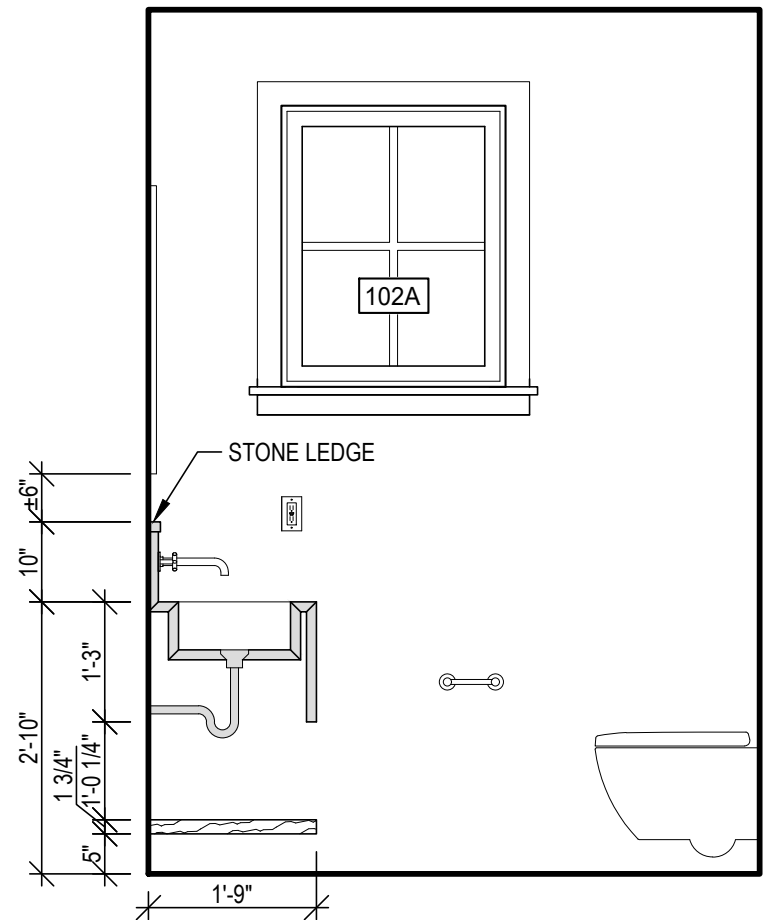
4 P.R WASHSTAND SECTION
SK-02 1-1/2" = 1'-0"



1 POWDER ROOM PLAN
SK-02 1/2" = 1'-0"

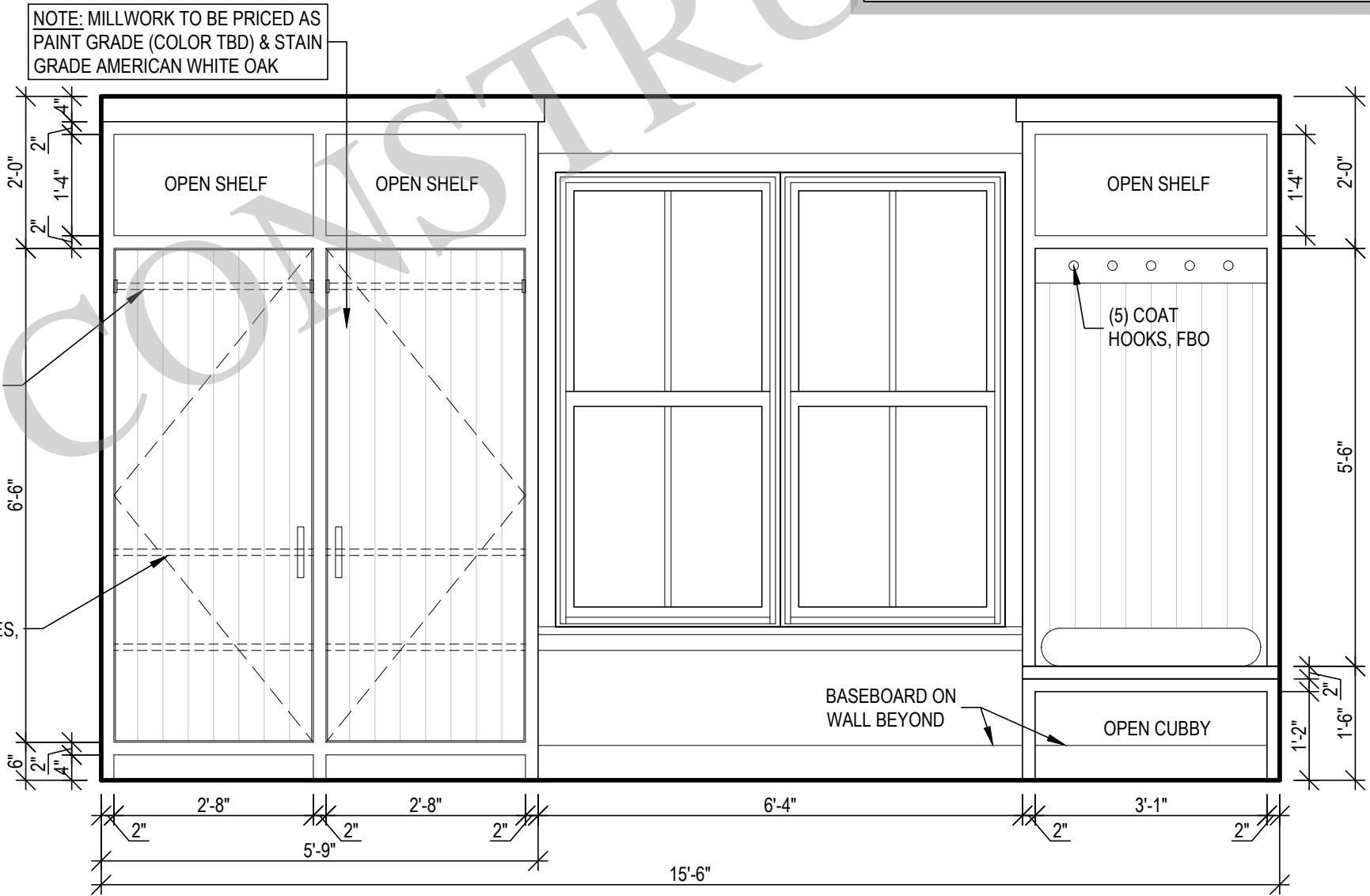
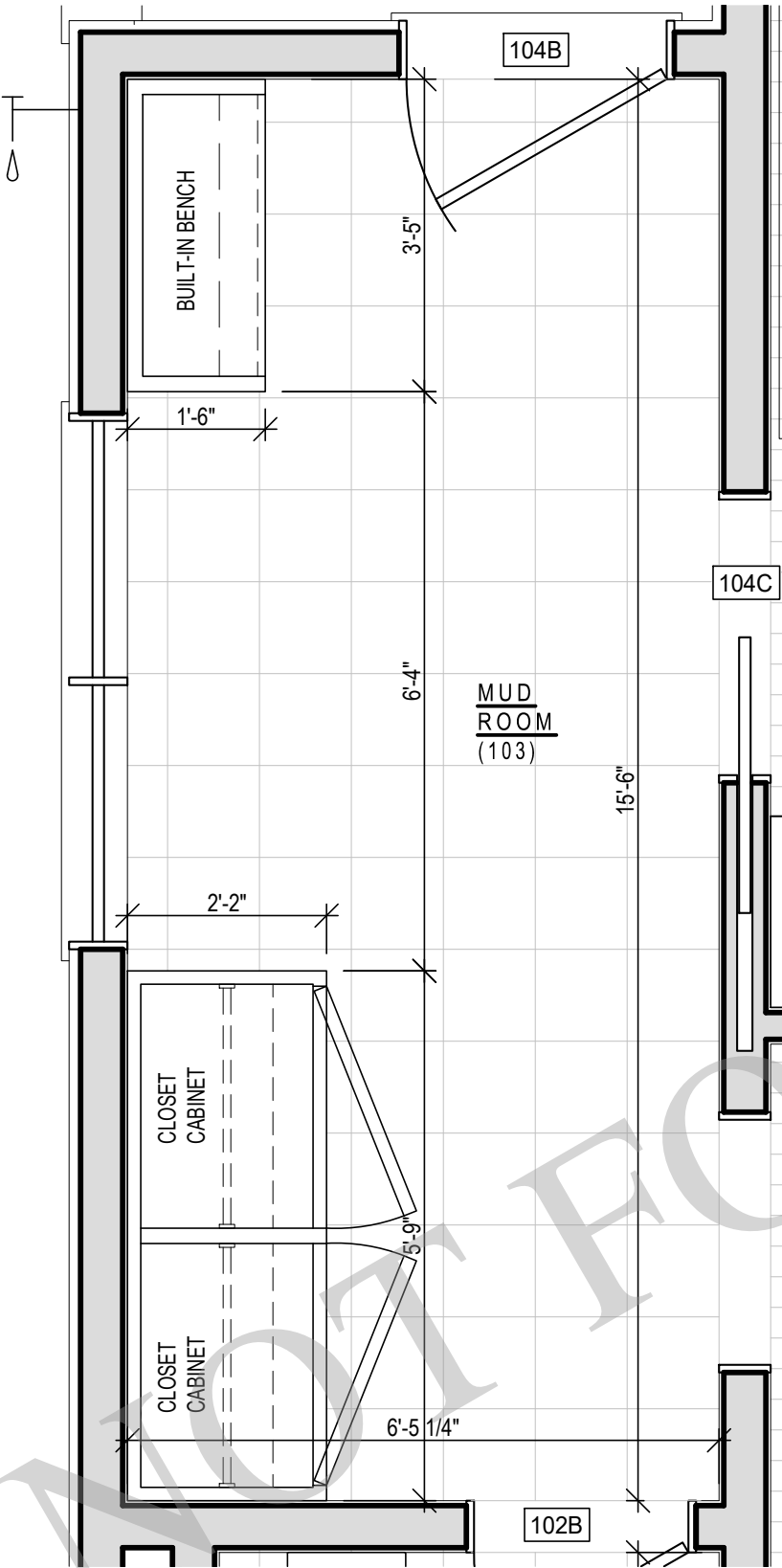


2 P.R WASHSTAND ELEVATION
SK-02 1/2" = 1'-0"



3 P.R WASHSTAND SECTION
SK-02 1/2" = 1'-0"

FOR PRICING PURPOSES ONLY,
NOT FOR CONSTRUCTION



NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM CABINETS & BUILT-IN MILLWORK BASED ON ACTUAL FIELD MEASUREMENTS FOR ARCHITECTS REVIEW & APPROVAL PRIOR TO FABRICATION

FOR PRICING PURPOSES ONLY,
NOT FOR CONSTRUCTION

NOTES:

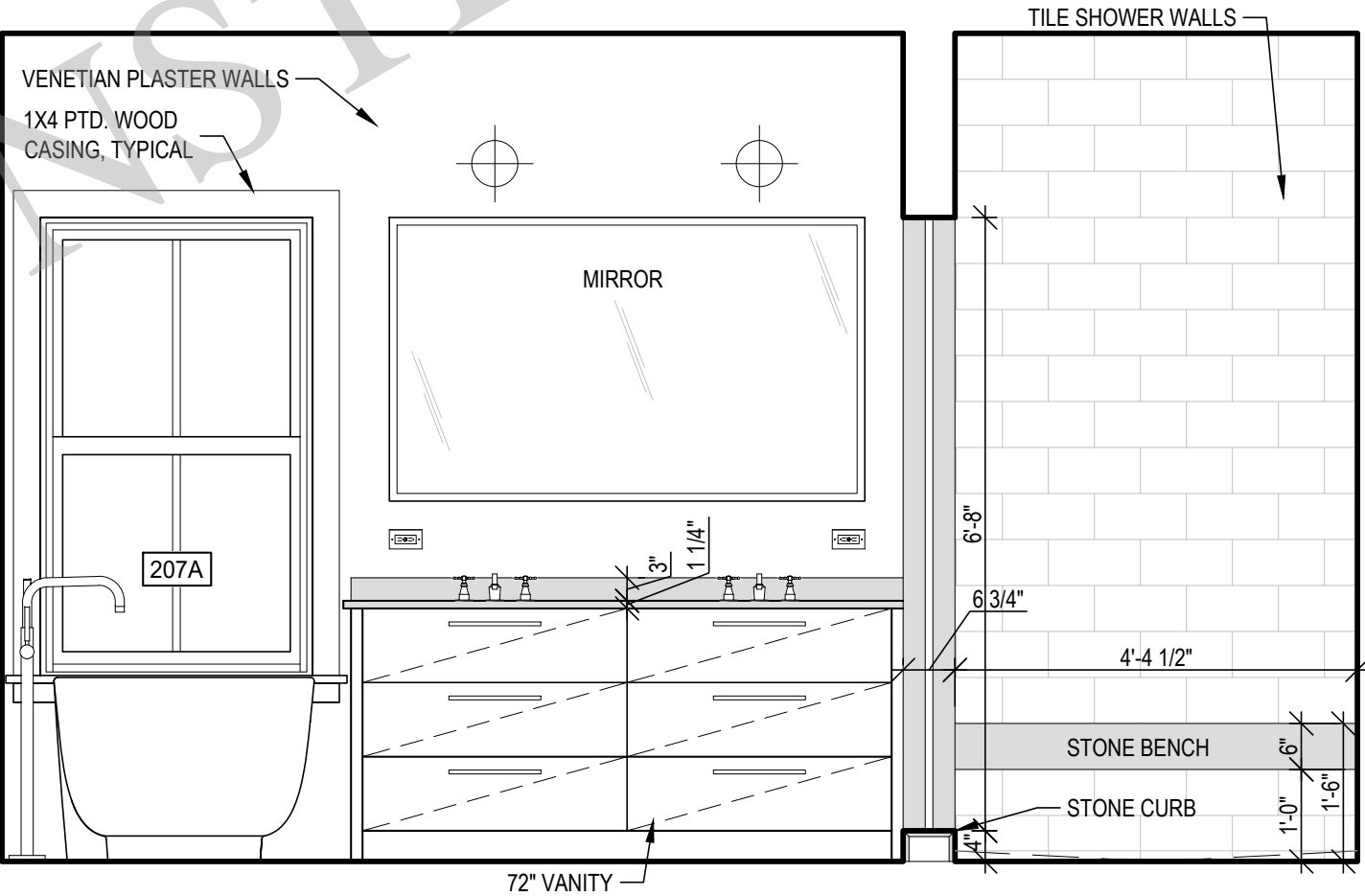
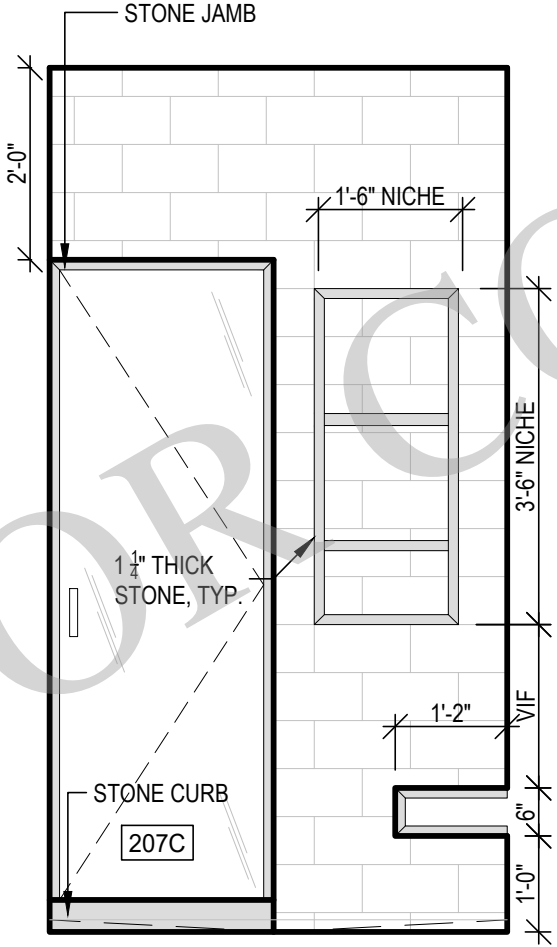
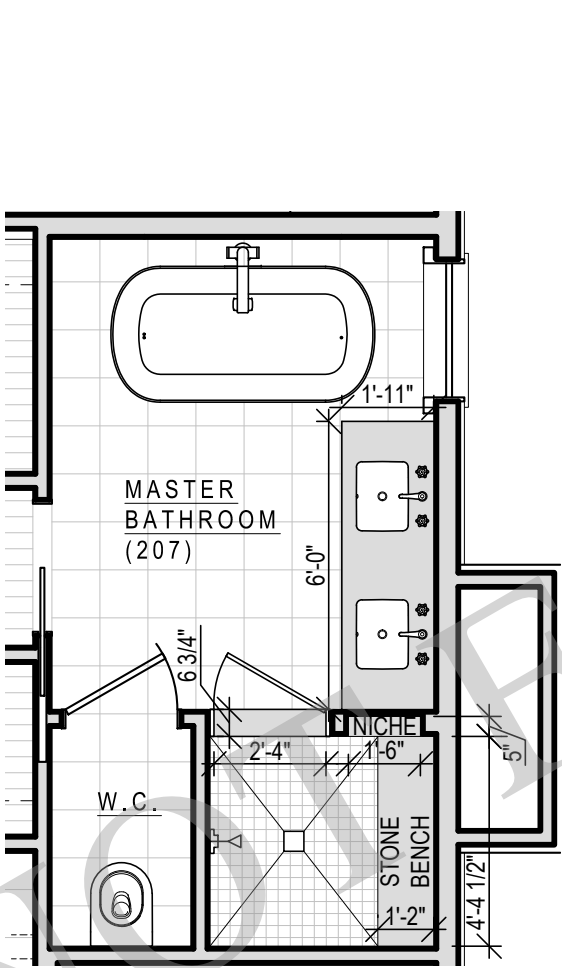
CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

STONE SPEC:

1-1/4" THICK, CALACATTA MALVA, HONED
LOTS # - 9288

NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM STONE & SLABS BASED ON ACTUAL FIELD MEASUREMENTS FOR ARCHITECTS REVIEW & APPROVAL PRIOR TO FABRICATION



1 MASTER BATHROOM PLAN

SK-04

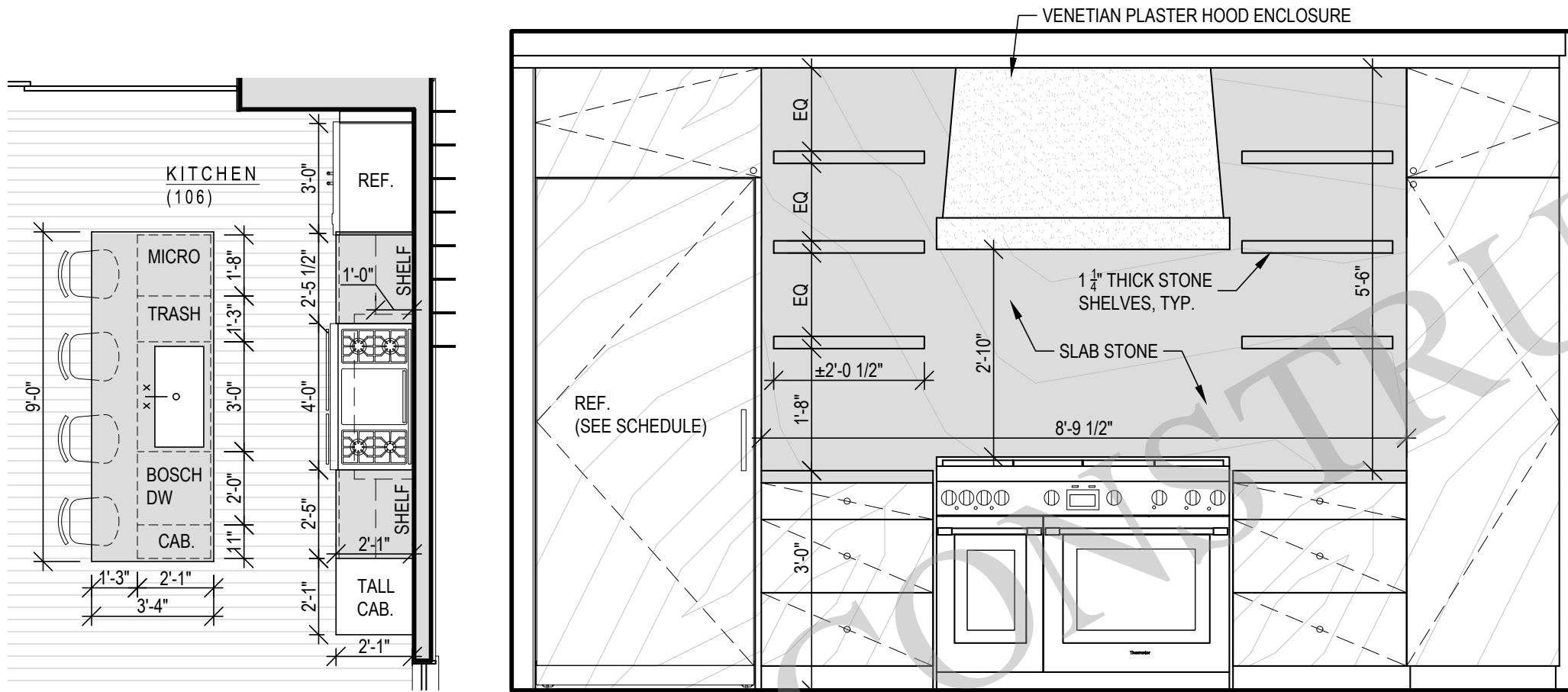
1/4" = 1'-0"

2 MASTER BATHROOM INTERIOR ELEVATIONS

SK-04

1/2" = 1'-0"

FOR PRICING PURPOSES ONLY,
NOT FOR CONSTRUCTION



NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

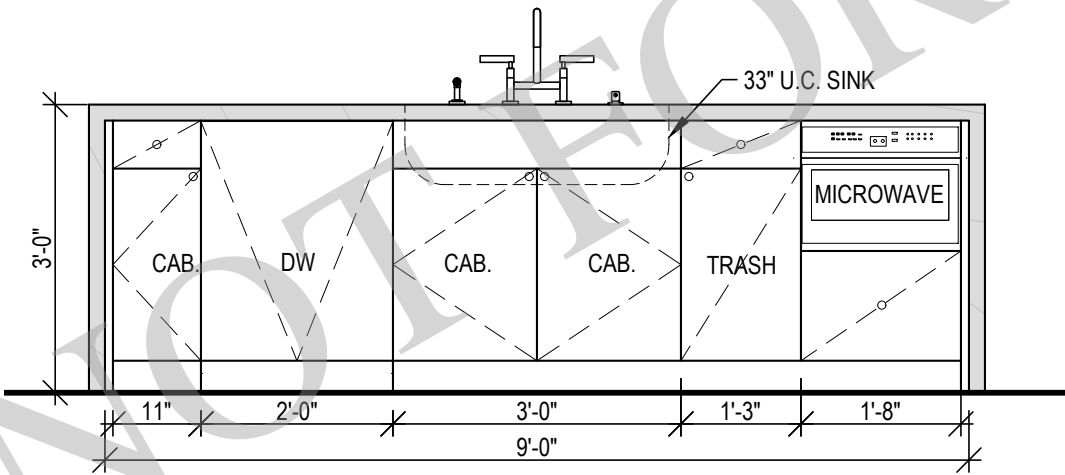
NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM STONE & SLABS BASED ON ACTUAL FIELD MEASUREMENTS FOR ARCHITECTS REVIEW & APPROVAL PRIOR TO FABRICATION

STONE SPEC:

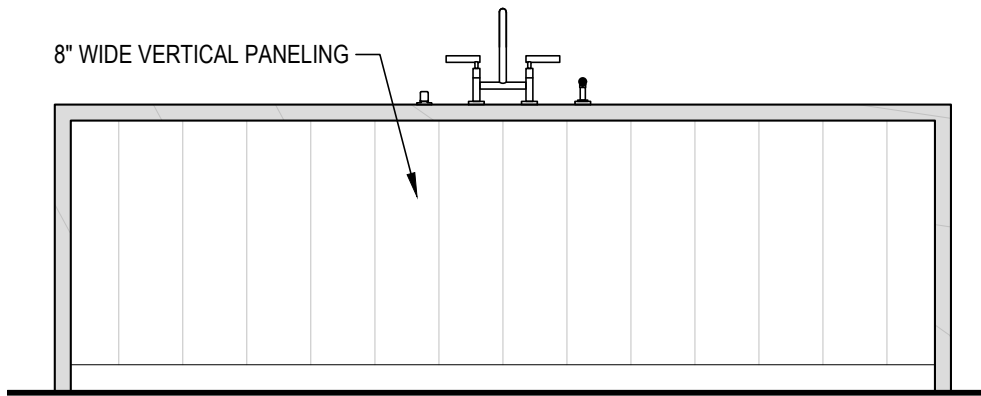
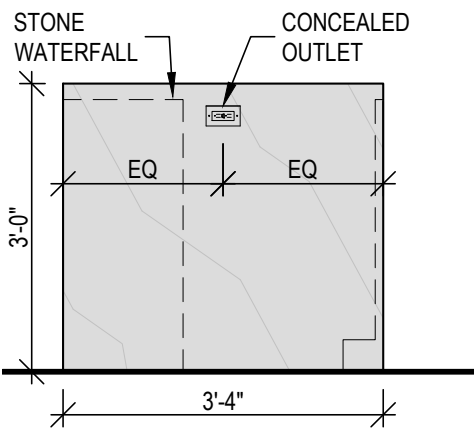
1-1/4" THICK, CALACATTA VIOLA, HONED
LOTS # - 99387, # 9302, #9387

1 KITCHEN PLAN
SK-05
1/4" = 1'-0"

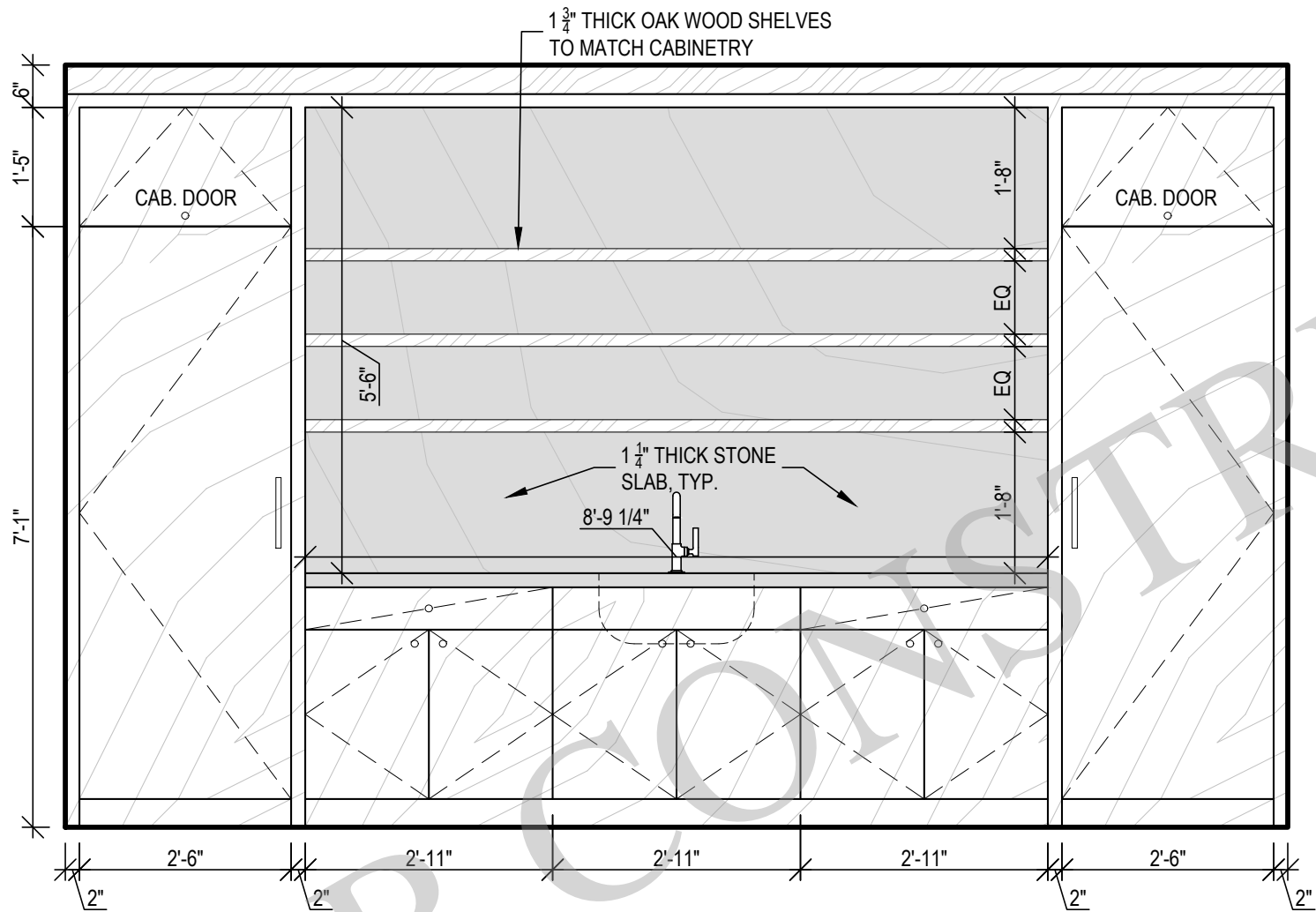
2 KITCHEN INTERIOR ELEVATION
SK-05
1/2" = 1'-0"



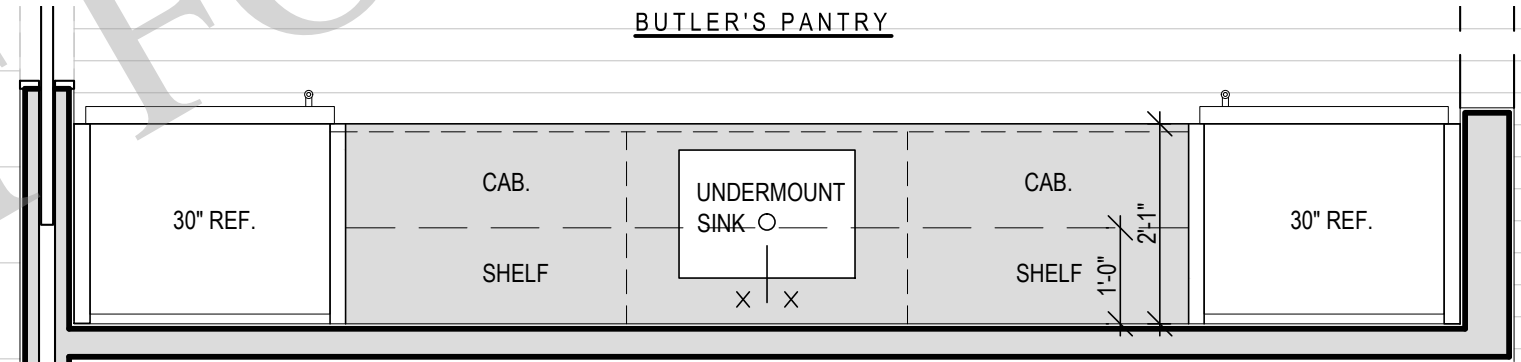
3 KITCHEN ISLAND INTERIOR ELEVATION
SK-05
1/2" = 1'-0"



FOR PRICING PURPOSES ONLY,
NOT FOR CONSTRUCTION



1 BUTLERS PANTRY INTERIOR ELEVATION
SK-06 1/2" = 1'-0"



2 BUTLERS PANTRY PLAN
SK-06 1/2" = 1'-0"

NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

ALL DIMENSIONS NOTED ARE FINISHED DIMENSIONS, U.O.N.

NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL CUSTOM STONE & SLABS BASED ON ACTUAL FIELD MEASUREMENTS FOR ARCHITECTS REVIEW & APPROVAL PRIOR TO FABRICATION

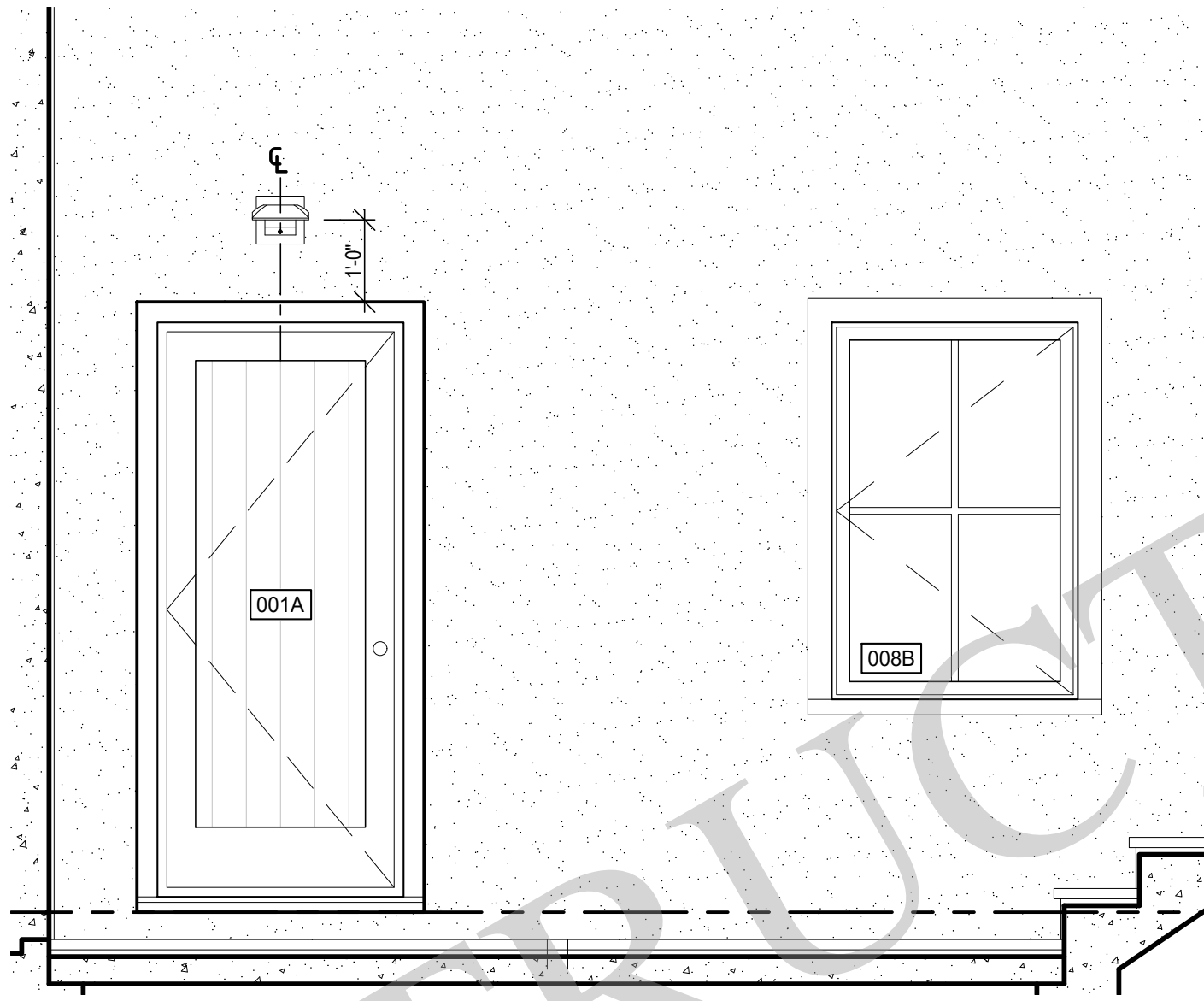
STONE SPEC:

1-1/4" THICK, CALACATTA VIOLA, HONED
LOTS # - 99387, # 9302, #9387

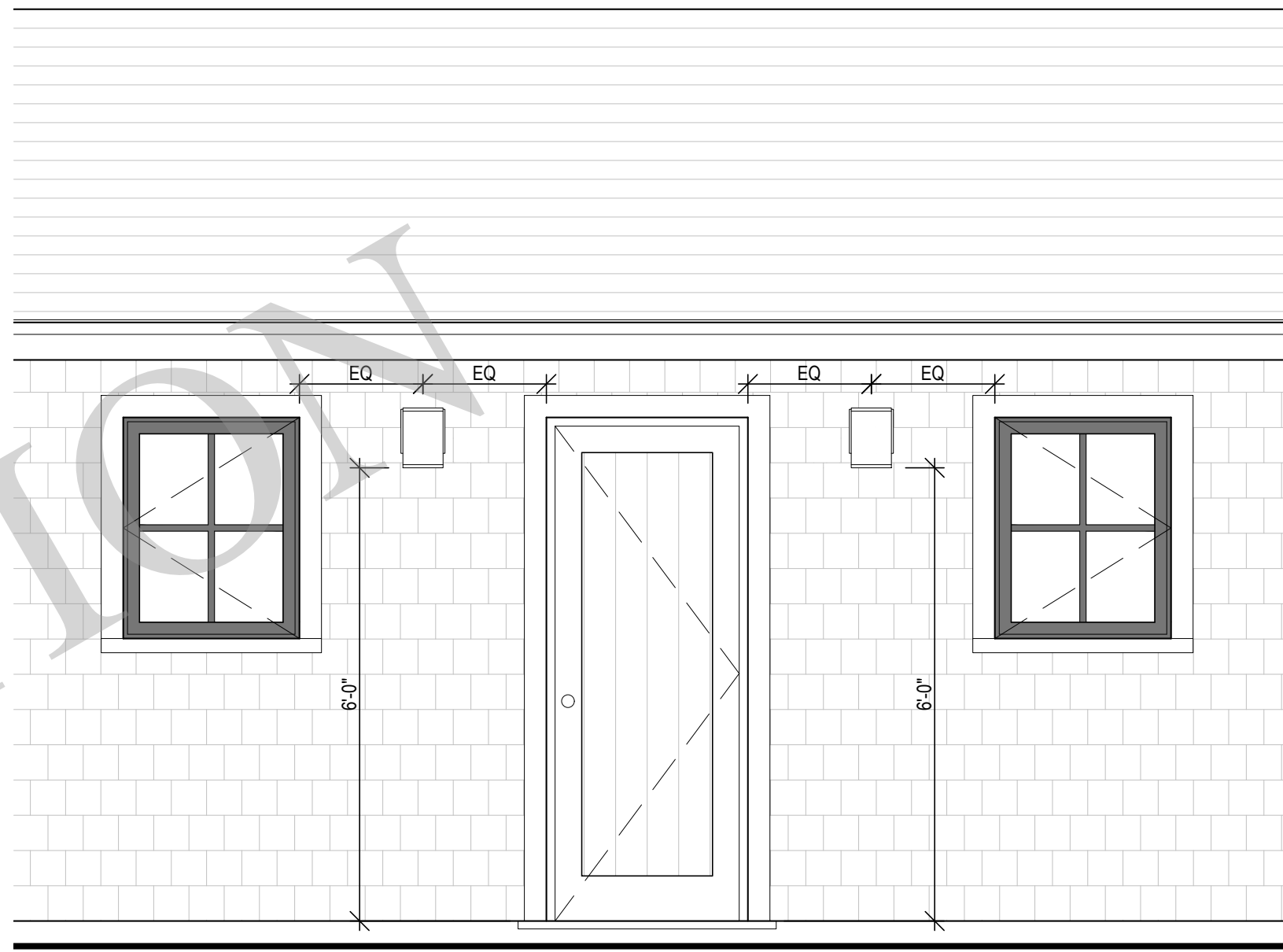
FILE NAME C:\Users\16318\Dropbox\JPA-CD Share\2209_1\SI\AK\Drawings\2209-Con Docs.dwg SAVED ON 3/18/2025 2:48 PM PLOTTED ON 3/18/2025 2:53 PM PLOTTED BY CHRISTIAN DISILVESTRE



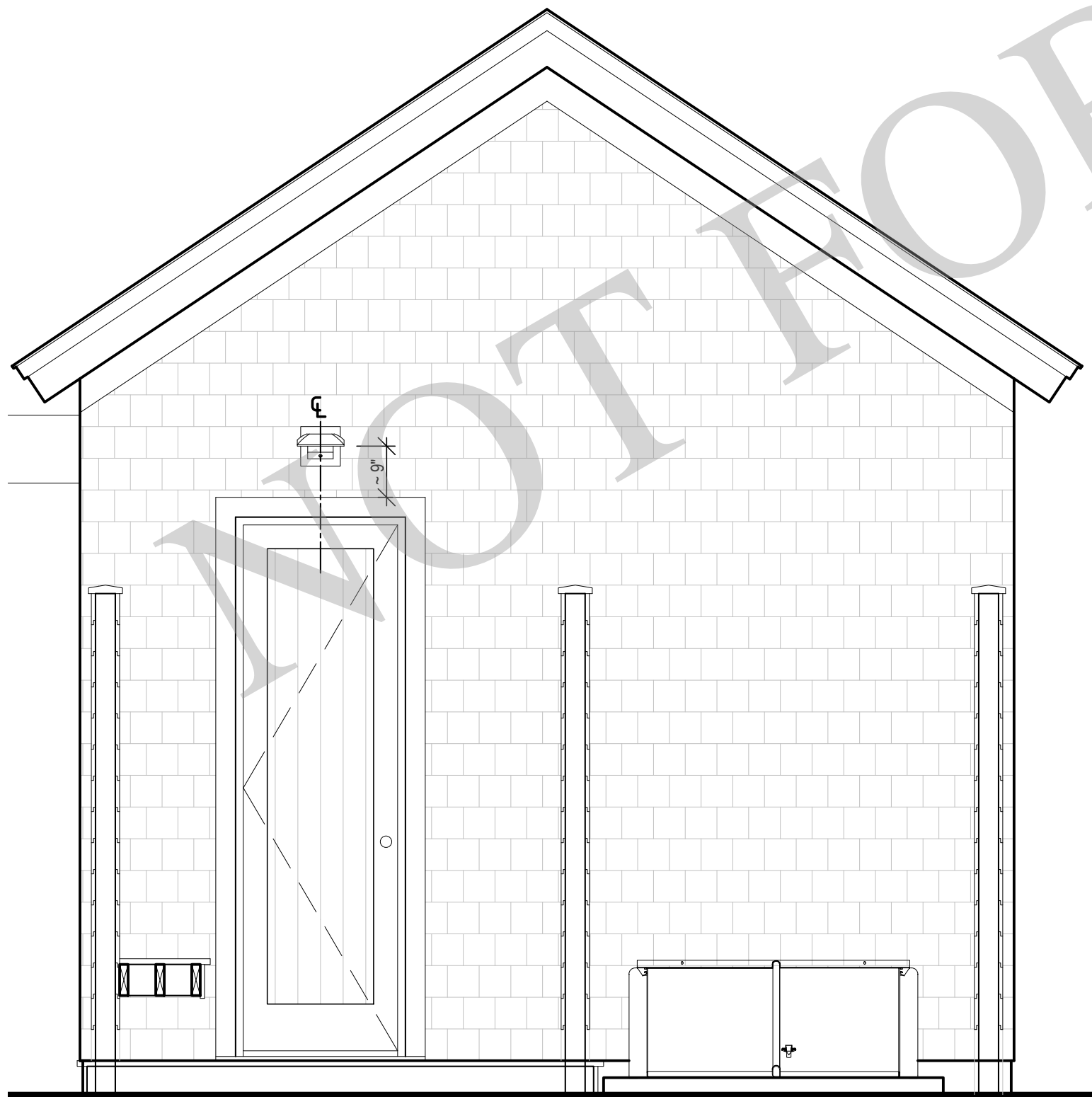
FRONT COVERED PORCH
1/2" = 1'-0"



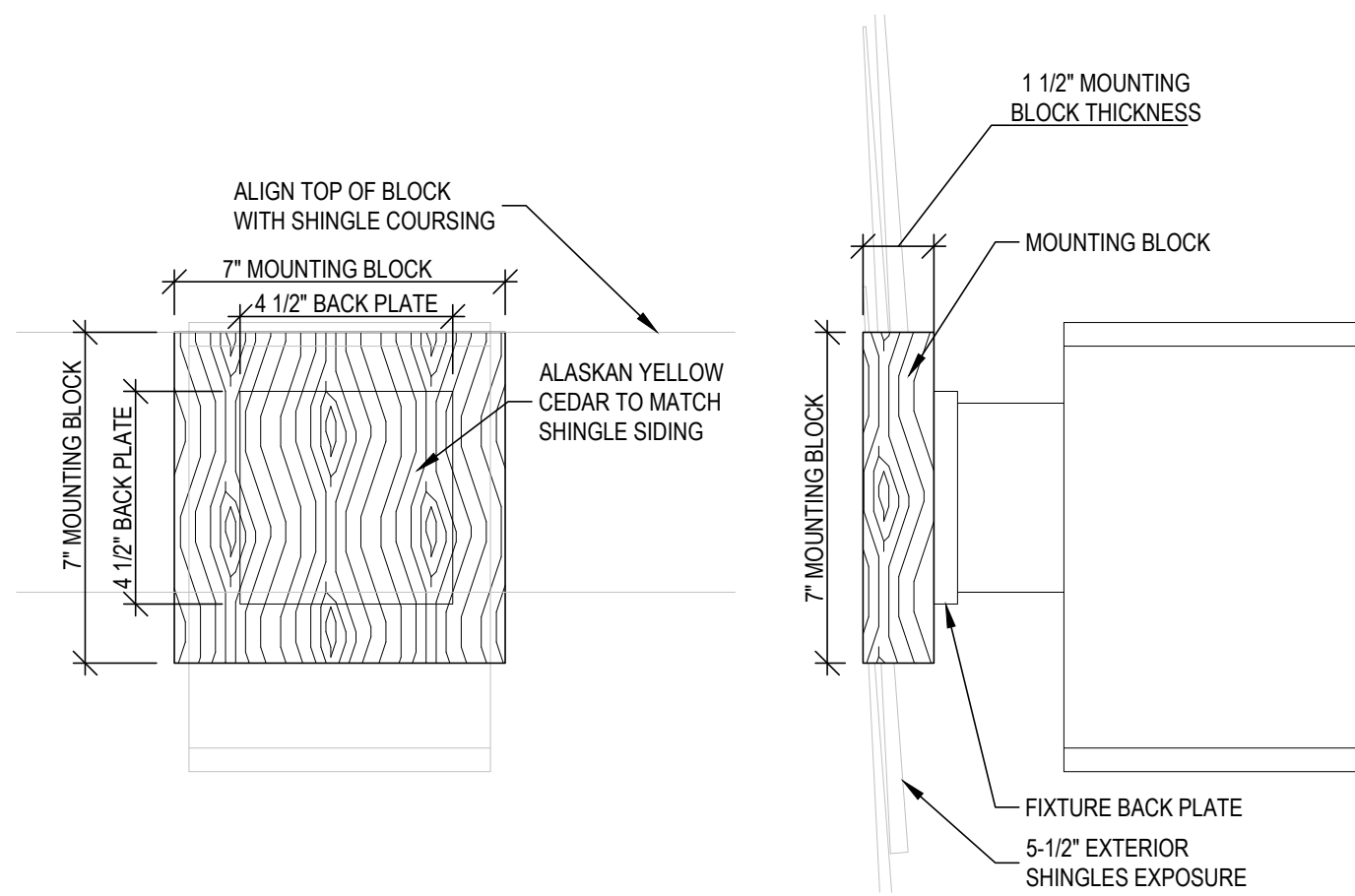
BASEMENT STAIR
1/2" = 1'-0"



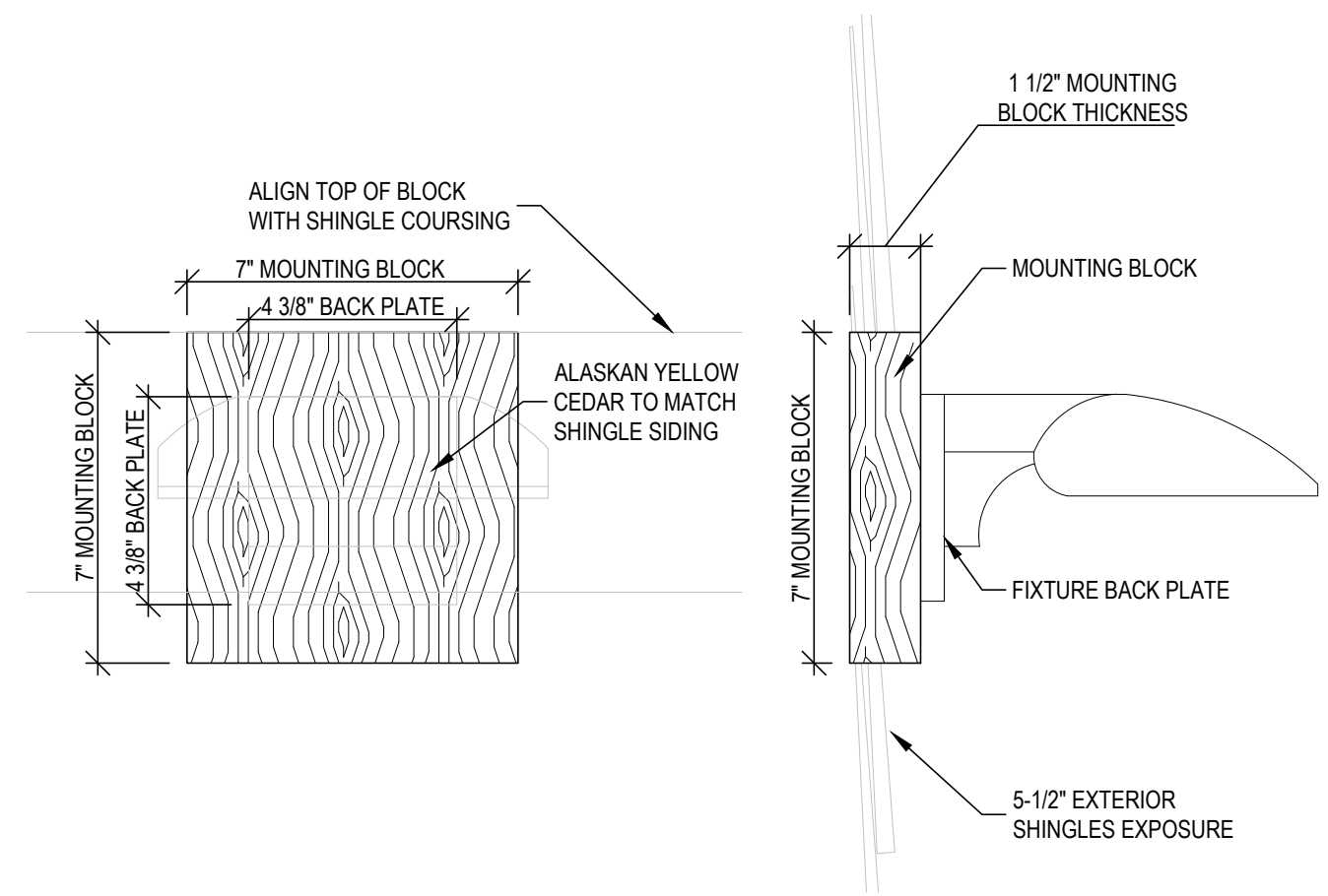
GARAGE
1/2" = 1'-0"



POOL HOUSE
1/2" = 1'-0"



MOUNTING BLOCK DETAIL [FRONT & SIDE VIEW]
3" = 1'-0"



MOUNTING BLOCK DETAIL [FRONT & SIDE VIEW]
3" = 1'-0"



ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. **JPA**
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

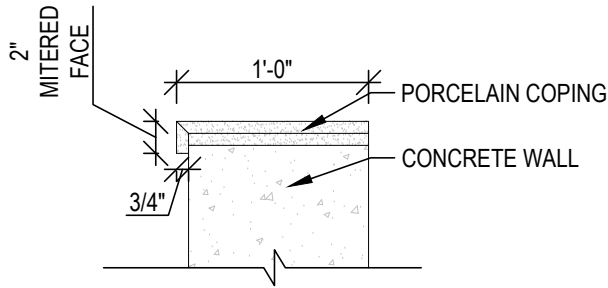
PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

**EXTERIOR LIGHT
FIXTURE DETAILS**

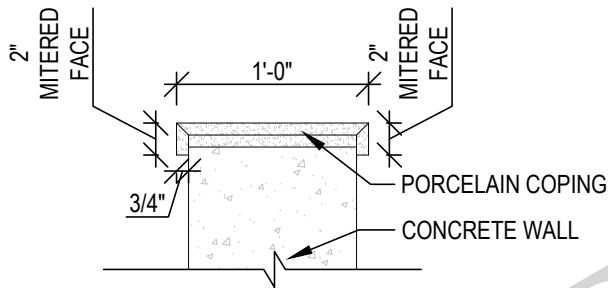
SCALE: AS NOTED

SK-11
© JOSEPH PAGAC ARCHITECT PC

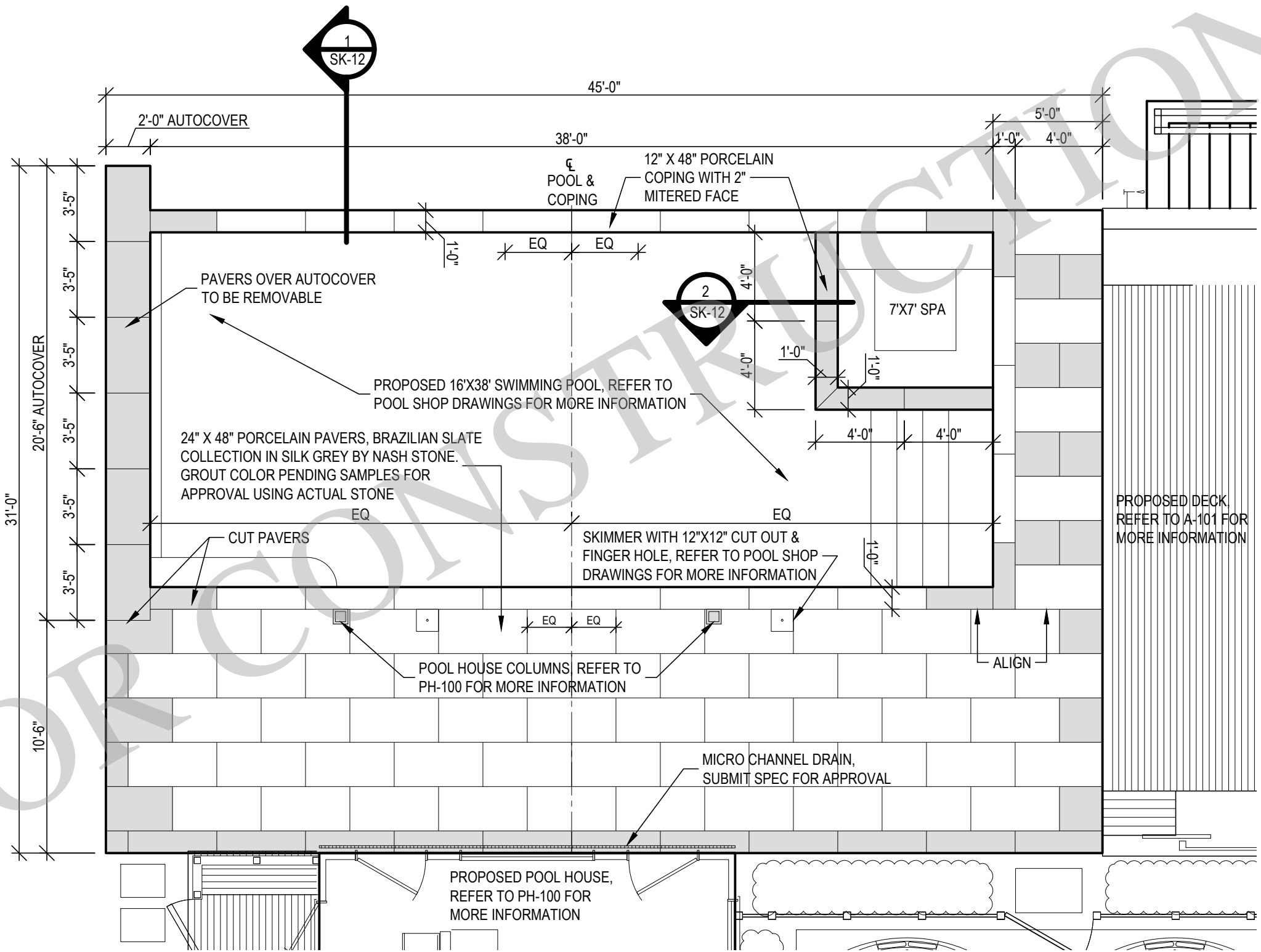
KEY:	
	FULL SIZE PORCELAIN PAVERS (24"X48")
	CUT PORCELAIN PAVERS



1 POOL COPING DETAIL
SK-12 1" - 1'-0"

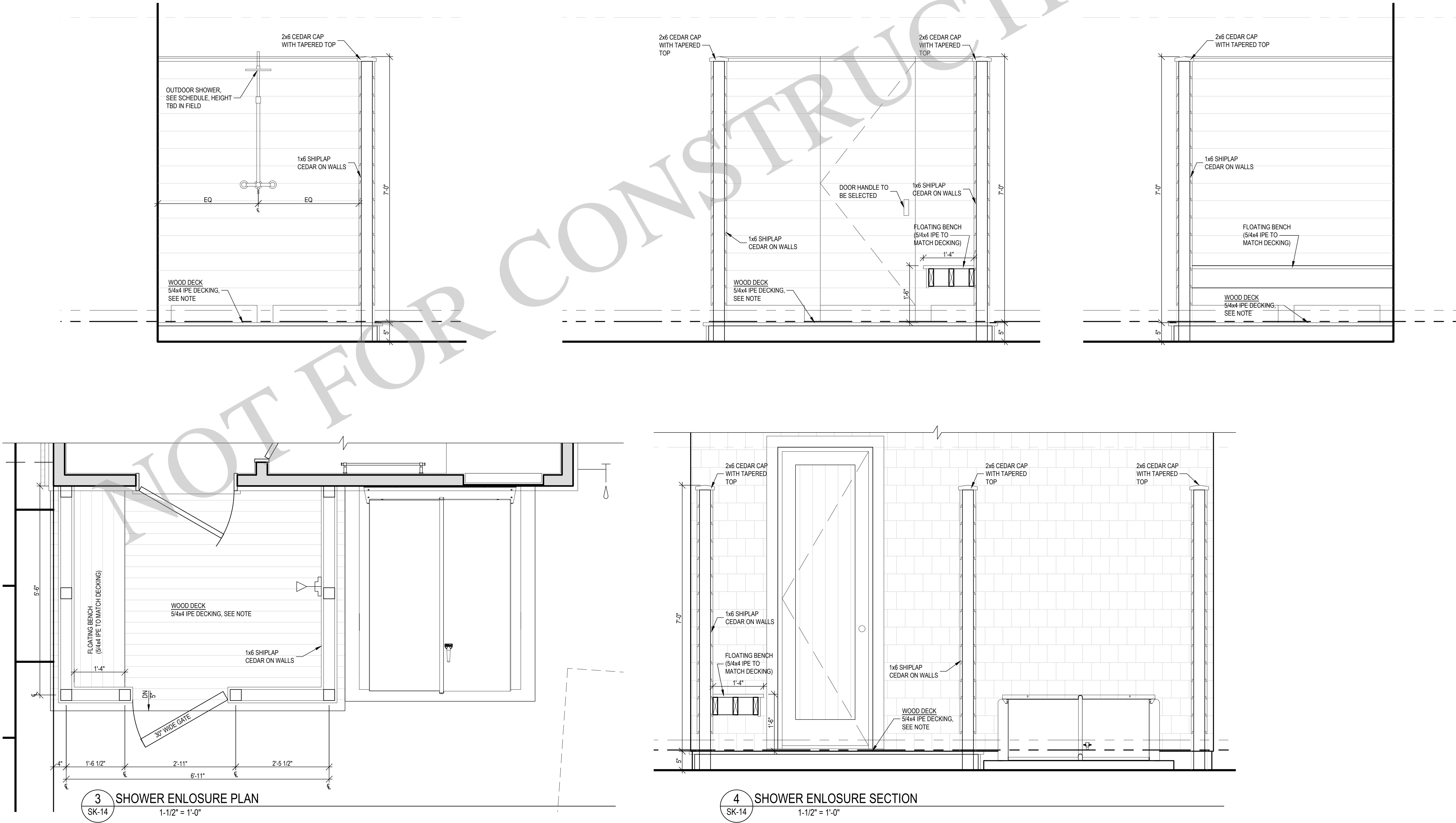


2 SPA COPING DETAIL
SK-12 1" - 1'-0"



3 PROPOSED POOL PATIO LAYOUT [GC TO COORDINATE WITH ARCHITECT]
SK-12 3/16" - 1'-0"

FILE NAME C:\Users\JPDS\Dropbox\JPA-CD Share\2209 LYSIAK\Drawings\2209-Con Docs-PH.dwg SAVED ON 3/26/2025 3:54 PM PLOTTED ON 3/26/2025 4:10 PM PLOTTED BY JPDS



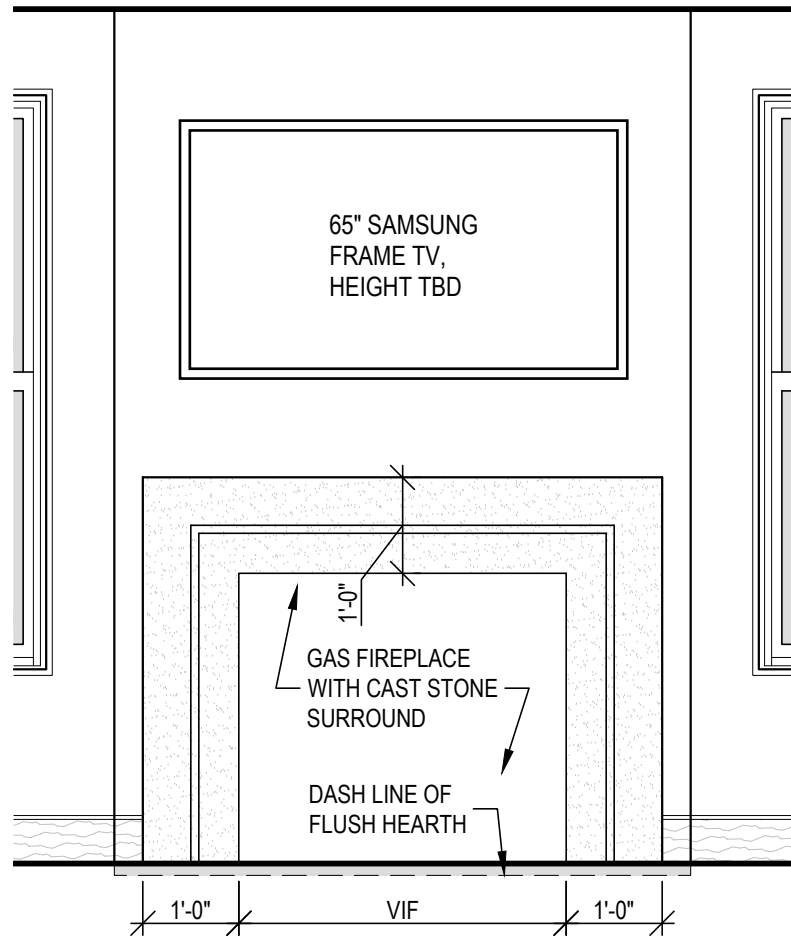
ARCHITECT
JOSEPH PAGAC
ARCHITECT P.C. JPA
16 Library Avenue, Suite D
Westhampton Beach, New York 11978
P: 631.557.0070

PROJECT NO.: 2209
DATE: 7/27/22
DRAWN BY: CD CHECKED BY: JP
DRAWING TITLE

**OUTDOOR SHOWER
DETAILS**

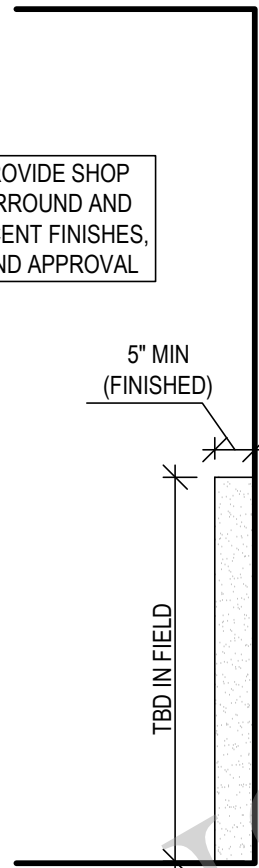
SCALE: AS NOTED

SK-14
© JOSEPH PAGAC ARCHITECT PC

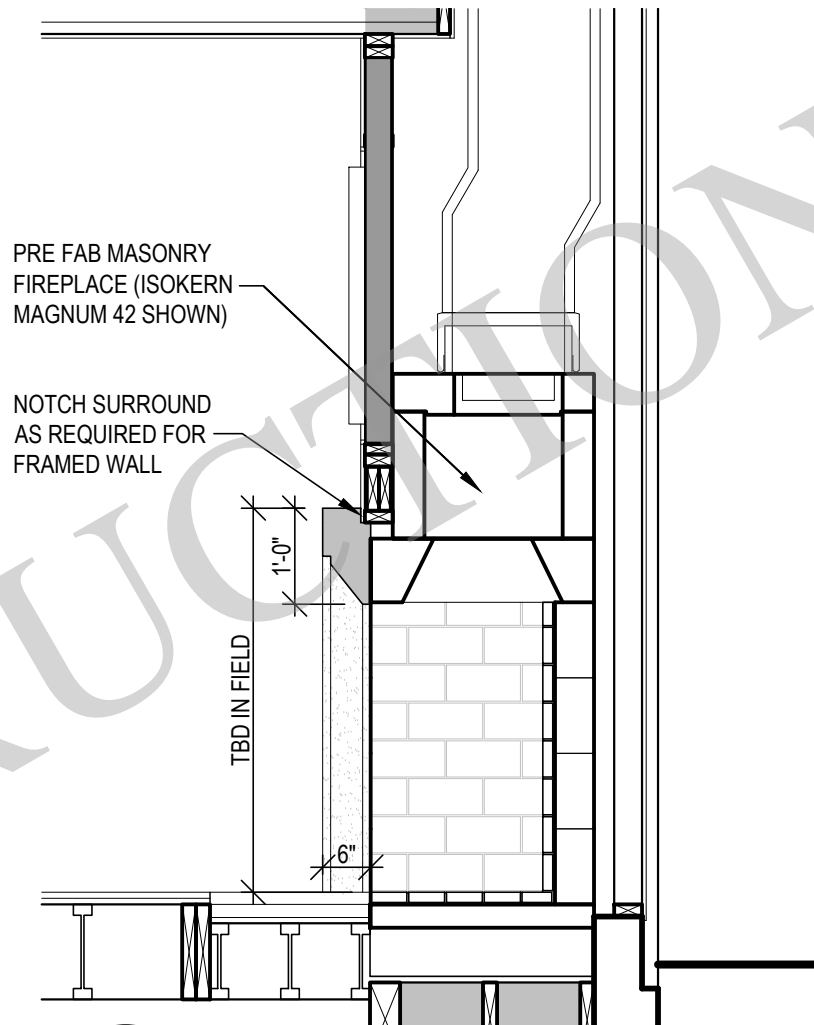


1 FIREPLACE SURROUND ELEVATION
SK-16
1/2" = 1'-0"

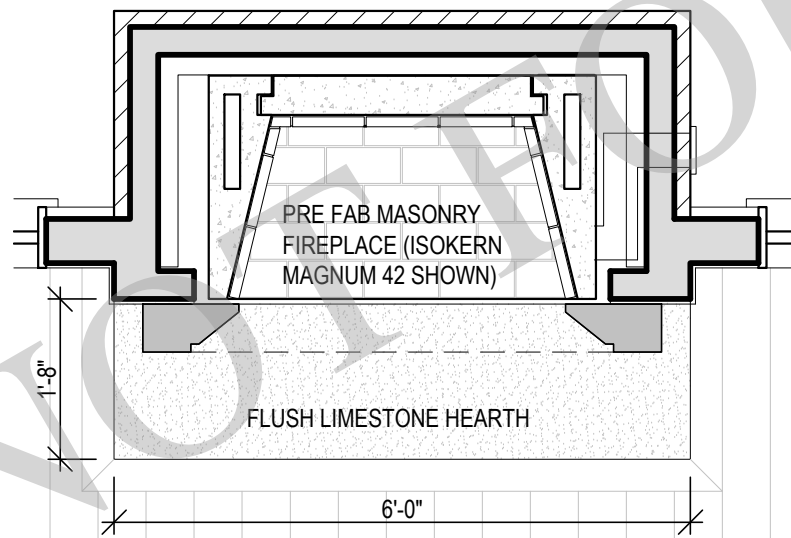
NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR STONE SURROUND AND HEARTH, INCLUDING ADJACENT FINISHES, FOR ARCHITECT REVIEW AND APPROVAL



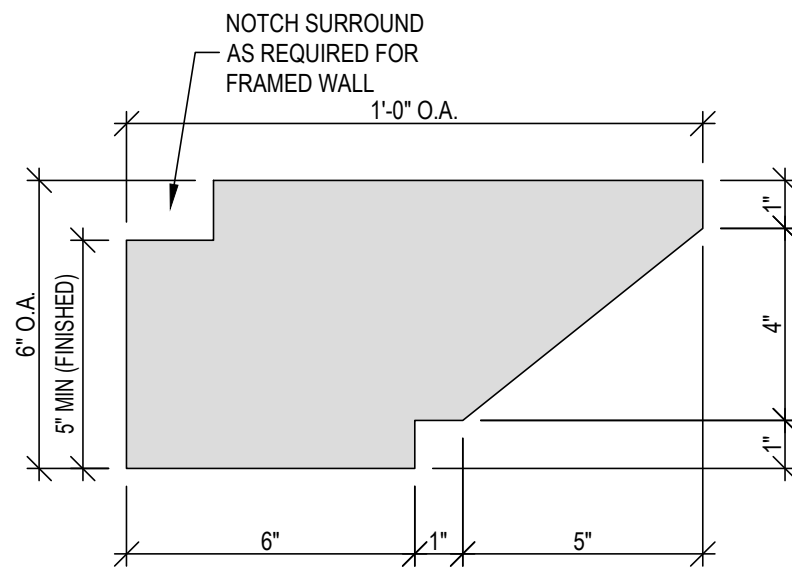
2 SIDE ELEVATION
SK-16
1/2" = 1'-0"



3 SURROUND SECTION
SK-16
1/2" = 1'-0"



4 FIREPLACE SURROUND PLAN
SK-16
1/2" = 1'-0"



5 STONE SURROUND PROFILE
SK-16
3" = 1'-0"



6 INSPIRATION PHOTO
SK-16